



Kenton C. Ward, CFM
Surveyor of Hamilton County
Phone (317) 776-8495
Fax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

December 13, 2012

To: Hamilton County Drainage Board

Re: Wheeler and Wheeler Drain, Brighton Knoll Pond No. 3 Reconstruction

Attached is a petition and plans for the proposed relocation of the Wheeler and Wheeler Drain, Brighton Knoll Pond No. 3 Reconstruction. The relocation was petitioned by Timberstone Development LLC. The proposal is to relocate the drain across parcel 10-11-17-00-00-009.000, owned by RH of Indiana LP as part of the Brighton Knoll, Section 4 project per plans by Stoepelwerth and Associates., Job No. 43400TRT-S4, dated 10/19/2011.

Per the plans, 305' of existing drain will be replaced by detention area (open drain). The Pond #3 proposal does not change the length of the regulated drain at this location.

This line will consist of the following:

305' of Open Drain (Pond #3)

Pond No. 3 overlaps an area that includes the northern most part of a pipe installed in 2011 by Noblesville Schools. The pond removes 225' of 18" HDPE pipe and replaces it with open drain. For more information on the 2011 reconstruction see my report dated June 8, 2011, which was approved at hearing on July 25, 2011, as recorded in Drainage Board Minutes Book 13, pages 486 – 487.

Pond No. 3 also extends the open drain 80' north of the Noblesville Schools reconstruction pipe, noted above. Pond No. 3 extends 80' north to Structure 775, which is called out in my reconstruction report for Brighton Knoll, Section 3 Arm, also submitted at this time.

When compared to the original 1908 J. W. Wheeler Drain Tile, Pond No. 3 covers an area 305' in length and corresponds with original Station 6+79 to Station 9+84 (+/-), per plans for Pond No. 3 by Stoepelwerth and Associates. Project will remove original tile from Station 9+04 to Station 9+84, with Station 9+84 being at Structure 775 mentioned above.

The cost of the relocation is the responsibility of Timberstone Development LLC. The developer provided the Performance Bond as follows:

Name of Bonding Co.: Lexon Insurance Co.
Bond #: 1062004
Bond Date: Oct 18, 2011
Bond Amount: \$27,081.36

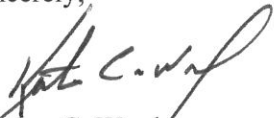
A Non-enforcement Request has not been submitted at this time. The non-enforcement request will be submitted with future sections adjacent to Pond No. 3 as they are developed.

The detention pond (Pond No. 3) is to be considered part of the regulated drain. Pond maintenance shall include inlet, outlet, sediment removal and erosion control along the banks as part of the regulated drain. The maintenance of the pond (lake) such as mowing and aquatic vegetation control will be the responsibility of the Homeowners Association. The Board will also retain jurisdiction for ensuring the storage volume for which the pond (lake) was designed will be retained, thereby, allowing no fill or easement encroachments.

It should be noted that the pond is designed to be expanded south in the future as future Brighton Knoll sections progress in that area. Future expansion will require approval at that time.

This project falls under the requirements as set out in IC 36-9-27-52.5. Therefore, a noticed hearing is not required for the petition.

Sincerely,



Kenton C. Ward
Hamilton County Surveyor

KCW/llm

HAMILTON COUNTY DRAINAGE BOARD
NOBLESVILLE, INDIANA

IN RE: Brighton Knoll, Section 4)
Hamilton County, Indiana)

PETITION FOR RELOCATION AND RECONSTRUCTION

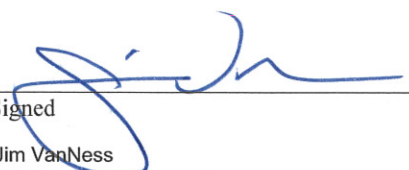
Timberstone Development, LLC (hereinafter "Petitioner"),

hereby petitions the Hamilton County Drainage Board for authority to relocate and improve a section of the Wheeler & Wheeler Drain, and in support of said petition advises the Board that:

1. Petitioner owns real estate through which a portion of the Wheeler & Wheeler Drain runs.
2. Petitioner plans to develop its real estate with roads, buildings, utilities, storm drains, sanitary sewers and other structures.
3. Petitioner's proposed development of its real estate will require relocation and reconstruction of a portion of the Wheeler & Wheeler Drain, as specifically shown on engineering plans and specifications filed with the Hamilton County Surveyor.
4. The work necessary for the proposed relocation and reconstruction will be undertaken at the sole expense of the Petitioner and such work will result in substantial improvement to the Wheeler & Wheeler Drain, without cost to other property owners on the watershed of the Wheeler & Wheeler Drain.
5. Proposed relocation and reconstruction will not adversely affect other land owners within the drainage shed.
6. Petitioner requests approval of the proposed relocation and reconstruction under IC 36-9-27-52.5.

WHEREFORE, Petitioner requests that an Order issued from the Hamilton County Drainage Board authorizing relocation and reconstruction of the Wheeler & Wheeler Drain, in conformance with applicable law and plans and specifications on file with the Hamilton County Surveyor.

FILED
OCT 23 2011



Signed
Jim VanNess

Printed

OFFICE OF HAMILTON COUNTY SURVEYOR





STOEPPELWERTH & ASSOCIATES, INC.

CONSULTING ENGINEERS • LAND SURVEYORS

David J. Stoepfelwerth
President, CEO
Professional Engineer
Professional Land Surveyor

Curtis C. Huff
Vice President, COO
Professional Land Surveyor

R.M. Stoepfelwerth
Founder
Professional Engineer
Professional Land Surveyor

October 19, 2011

Hamilton County Surveyor's Office
One Hamilton County Square
Suite 188
Noblesville, Indiana 46060

Attention: Steve Cash

Re: Brighton Knoll Section 4

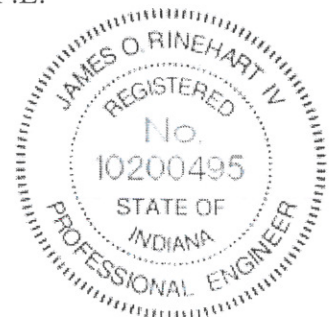
Dear Mr. Cash:

On behalf of the developer Triton Development, please accept the following Engineer's Estimate for Brighton Knoll Section 4. The estimate is as follows:

Description	Quantity	Unit	Unit Price	Contract Amount	Performance Bond
Topsoil Strip	734	CY	\$1.70	\$1,247.80	\$1,497.36
Mass Excavation	8,400	CY	\$2.30	\$19,320.00	\$23,184.00
End Section w/ Rip Rap & Animal Guard	1	EA	\$2,000.00	\$2,000.00	\$2,400.00

Witness my signature this 19th day of October, 2011.

James O. Rinehart IV, P.E.
Professional Engineer
No. 10200495



Cc: Jim VanNess

7965 East 106th Street
Fishers, Indiana
46038-2505

317.849.5935
Fax: 317.849.5942
www.Stoepfelwerth.com

JOR/meb
S:\43400S4\Blue_Book\Agency Correspondence\Noblesville\Engineer\Cash\EEAdditional10-19-11.doc

Bond No. 1062004

Performance Bond

Any singular reference to Contractor, Surety, Owner or other party shall be considered plural where applicable.

CONTRACTOR:

Timberstone Development, LLC
9210 North Meridian Street
Indianapolis, IN 46260

SURETY:

Lexon Insurance Company
10002 Shelbyville Road, Suite 100
Louisville, KY 40223

OWNER:

Hamilton County Board of Commissioners
One Hamilton County Square
Noblesville IN. 46060

CONSTRUCTION CONTRACT

Date:

Amount: Twenty-Seven Thousand Eighty-One and 36/100 Dollars (\$27,081.36)

Description (Name and Location):

Brighton Knoll Section 4 - Reconstruction of a portion of the Wheeler & Wheeler Drain

BOND

Date (Not earlier than Construction Contract Date): October 18, 2011

Amount: Twenty-Seven Thousand Eighty-One and 36/100 Dollars (\$27,081.36)

Modifications to this Bond:


None

See Page 3

CONTRACTOR AS PRINCIPAL**SURETY**

Company: Timberstone Development, LLC by Crest Management

Company: Lexon Insurance Company

Signature: 
Name and Title: Steve Dunn, Vice President

Signature: 
Name and Title: Dawson West, Attorney-in-Fact

(Any additional signature appear on page 3)

(FOR INFORMATION ONLY - Name, Address and Telephone)

AGENT or BROKER:

OWNER'S REPRESENTATIVE (Architect, Engineer or other party):

Smith-Manus

2307 River Road, Suite 200

Louisville, KY 40206

(502) 636-9191

1 The Contractor and the Surety, jointly and severally, bind themselves, their heirs, executors, administrators, successors and assigns to the Owner for the performance of the Construction Contract, which is incorporated herein by reference.

2 If the Contractor performs the Construction Contract, the Surety and the Contractor shall have no obligation under this Bond, except to participate in conferences as provided in Subparagraph 3.1.

3 If there is no Owner Default, the Surety's obligation under this Bond shall arise after:

3.1 The Owner has notified the Contractor and the Surety at its address described in Paragraph 10 below that the Owner is considering declaring a Contractor Default and has requested and attempted to arrange a conference with the Contractor and the Surety to be held not later than fifteen days after receipt of such notice to discuss methods of performing the Construction Contract. If the Owner, the Contractor and the Surety agree, the Contractor shall be allowed a reasonable time to perform the Construction Contract, but such an agreement shall not waive the Owner's right, if any, subsequently to declare a Contractor Default: and

3.2 The Owner has declared a Contractor Default and formally terminated the Contractor's right to complete the contract. Such Contractor Default shall not be declared earlier than twenty days after the Contractor and the Surety have received notice as provided in Subparagraph 3.1; and

3.3 The Owner has agreed to pay the Balance of the Contract Price to the Surety in accordance with the terms of the Construction Contract or to a contractor selected to perform the Construction Contract in accordance with the terms of the contract with the Owner.

4 When the Owner has satisfied the conditions of Paragraph 3, Surety shall promptly and at the Surety's expense take one of the following actions:

4.1 Arrange for the Contractor, with consent of the Owner, to perform and complete the Construction Contract; or

4.2 Undertake to perform and complete the Construction Contract itself, through its agents or through independent contractors; or

4.3 Obtain bids or negotiated proposals for qualified contractors acceptable to the Owner for a contract for performance and completion of the Construction Contract, arrange for a contract to be prepared for execution by the Owner and the contractor selected with the Owner's concurrence, to be secured with performance and payment bonds executed by a qualified surety equivalent to the bonds issued on the Construction Contract, and pay to the Owner the amount of damages as described in Paragraph 6 in excess of the Balance of the Contract Price incurred by the Owner resulting from the Contractor's default; or

4.4 Waive its right to perform and complete, arrange for completion, or obtain a new contractor and with reasonable promptness under the circumstances:

.1 After investigation, determine the amount for which it may be liable to the Owner and, as soon as practicable after the amount is determined, tender payment therefore to the Owner; or

.2 Deny liability in whole or in part and notify the Owner citing reasons therefore.

5 If the Surety does not proceed as provided in Paragraph 4 with reasonable promptness, the Surety shall be deemed to be in default on this Bond fifteen days after receipt of an additional written notice from the Owner to the Surety demanding that the Surety perform its obligations under this Bond, and the Owner shall be entitled to enforce and remedy available to the Owner. If the Surety proceeds as provided in Subparagraph 4.4, and the Owner refuses the payment tendered or the Surety has denied liability, in whole or in part, without further notice the Owner shall be entitled to enforce any remedy available to the Owner.

6 After the Owner has terminated the Contractor's right to complete the Construction Contract, and if the Surety elects to act under Subparagraph 4.1, 4.2, or 4.3 above, then the responsibility of the Surety to the Owner shall not be greater than those of the Contractor under the Construction Contract, and the responsibilities of the Owner to the Surety shall not be greater than those of the Owner under the Construction Contract. To the limit of the amount of this Bond, but subject to commitment by the Owner of the Balance of the Contract Price to mitigation of costs and damages on the Construction Contract, the Surety is obligated without duplication for:

6.1 The responsibilities of the Contractor for correction of defective work and completion of the Construction Contract;

6.2 Additional legal, design professional and delay costs resulting from the Contractor's Default, and resulting from the actions of failure to act of the Surety under Paragraph 4; and

6.3 Liquidated damages, or if no liquidated damages are specified in the Construction Contract, actual damages caused by delayed performance or non-performance of the Contractor.

7 The Surety shall not be liable to the Owner or others for obligations of the Contractor that are unrelated to the Construction Contract, and the Balance of the Contract Price shall not be reduced or set off on account of any such unrelated obligations. No right of action shall accrue on this Bond to any person or entity other than the Owner of its heirs, executors, administrators or successors.

8 The Surety hereby waives notice of any change, including changes of time, to the Construction Contract or to related sub-contractors, purchase orders and other obligations.

9 Any proceeding, legal or equitable, under this Bond may be instituted in any court of competent jurisdiction in the location in which the work or part of the work is located and shall be instituted within two years after Contractor Default of within two years after the Contractor ceased working or within two years

after the Surety refuses or fails to perform its obligations under this Bond, whichever occurs first. IF the provisions of this Paragraph are void or prohibited by law, the minimum period of limitations available to sureties as a defense in the jurisdiction shall be applicable.

10 Notice to the Surety, the Owner or the Contractor shall be mailed or delivered to the address shown of the signature page.

11 When this Bond has been furnished to comply with a statutory or other legal requirement in the location where the construction was to be performed, any provision in this Bond conflicting with said statutory or legal requirement shall be deemed deleted herefrom and provisions conforming to such statutory or other legal requirements shall be deemed incorporated herein. The intent is that this Bond shall be construed as a statutory bond and not as a common law bond.

12 DEFINITIONS

12.1 Balance of the Contract Price: The total amount payable by the Owner to the Contractor under the Construction Contract after all proper adjustments have been made, including allowance to the Contractor of any amounts received or to be received by the Owner in settlement of insurance or other claims for damages to which the Contractor is entitled, reduced by all valid and proper payments made to or on behalf of the Contractor under the Construction Contract.

12.2 Construction Contract: The agreement between the Owner and the Contractor identified of the signature page, including all Contract Documents and changes thereto.

12.3 Contractor Default: Failure of the Contractor, which has neither been remedied nor waived, to perform or otherwise to comply with the terms of the Construction Contract.

12.4 Owner Default: Failure of the Owner, which has neither been remedied nor waived, to pay the Contractor as required by the Construction Contract or to perform and complete or comply with the other terms thereof.

MODIFICATIONS TO THIS BOND ARE AS FOLLOWS:

This Bond will remain in full force and effect until all outstanding requirements of the Owner are resolved and the Owner releases the Bond. The requirement for release included storm sewer inspections, and engineer's Certificate of Completion and Compliance being filed, as-built or record drawings being submitted and accepted, and any other requirements of Surety release as outline in the Hamilton County Stormwater Management Technical Standards Manual.

{Space is provided below for additional signature of added parties, other than those appearing on the cover page.}

CONTRACTOR AS PRINCIPAL:
Company:

SURETY:
Company:

Signature: _____

Signature: _____

Name and Title:

Name and Title:

Address:

Address:

POWER OF ATTORNEY

LX - 097987

Lexon Insurance Company

KNOW ALL MEN BY THESE PRESENTS, that LEXON INSURANCE COMPANY, a Texas Corporation, with its principal office in Louisville, Kentucky, does hereby constitute and appoint:

Brook T. Smith, Kathy Hobbs, Raymond M. Hundley, Jason D. Cromwell, James H. Martin, Sandra F. Harper, ****

Myrtie F. Henry, Virginia E. Woolridge, Deborah Neichter, Jill Kemp, Jackie C. Koestel, Sheryon Quinn, Dawson West, Bonnie J. Wortham, Amy Meredith, Lynnette Long *****

its true and lawful Attorney(s)-In-Fact to make, execute, seal and deliver for, and on its behalf as surety, any and all bonds, undertakings or other writings obligatory in nature of a bond.

This authority is made under and by the authority of a resolution which was passed by the Board of Directors of LEXON INSURANCE COMPANY on the 1st day of July, 2003 as follows:

Resolved, that the President of the Company is hereby authorized to appoint and empower any representative of the Company or other person or persons as Attorney-In-Fact to execute on behalf of the Company any bonds, undertakings, policies, contracts of indemnity or other writings obligatory in nature of a bond not to exceed \$2,500,000.00, Two-million five hundred thousand dollars, which the Company might execute through its duly elected officers, and affix the seal of the Company thereto. Any said execution of such documents by an Attorney-In-Fact shall be as binding upon the Company as if they had been duly executed and acknowledged by the regularly elected officers of the Company. Any Attorney-In-Fact, so appointed, may be removed for good cause and the authority so granted may be revoked as specified in the Power of Attorney.

Resolved, that the signature of the President and the seal of the Company may be affixed by facsimile on any power of attorney granted, and the signature of the Vice President, and the seal of the Company may be affixed by facsimile to any certificate of any such power and any such power or certificate bearing such facsimile signature and seal shall be valid and binding on the Company. Any such power so executed and sealed and certificate so executed and sealed shall, with respect to any bond of undertaking to which it is attached, continue to be valid and binding on the Company.

IN WITNESS THEREOF, LEXON INSURANCE COMPANY has caused this instrument to be signed by its President, and its Corporate Seal to be affixed this 2nd day of July, 2003.



LEXON INSURANCE COMPANY

BY [Signature] David E. Campbell President

ACKNOWLEDGEMENT

On this 2nd day of July, 2003, before me, personally came David E. Campbell to me known, who being duly sworn, did depose and say that he is the President of LEXON INSURANCE COMPANY, the corporation described in and which executed the above instrument; that he executed said instrument on behalf of the corporation by authority of his office under the By-laws of said corporation.

OFFICIAL SEAL MAUREEN K. AYE Notary Public, State of Illinois My Commission Expires 09/21/13

[Signature] Maureen K. Aye Notary Public

CERTIFICATE

I, the undersigned, Secretary of LEXON INSURANCE COMPANY, A Texas Insurance Company, DO HEREBY CERTIFY that the original Power of Attorney of which the foregoing is a true and correct copy, is in full force and effect and has not been revoked and the resolutions as set forth are now in force.

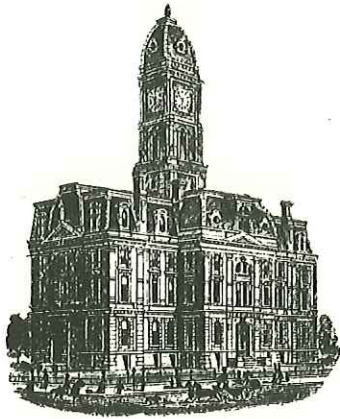
Signed and Sealed at Lombard, Illinois this 18th Day of October, 20 11



[Signature] Donald D. Buchanan Secretary

WARNING: Any person who knowingly and with intent to defraud any insurance company or other person, files an application for insurance or statement of claim containing any materially false information, or conceals for the purpose of misleading information concerning any fact material thereto, commits a fraudulent insurance act, which is a crime and subjects such person to criminal and civil penalties.

KCW



SURVEYOR'S OFFICE
Hamilton County

Kenton C. Ward, CFM
Surveyor of Hamilton County
Phone (317) 776-8495
Fax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

To: Hamilton County Drainage Board

September 12, 2014

Re: Wheeler & Wheeler Drain – Brighton Knoll Pond No. 3 Reconstruction

Attached are as-builts, certificate of completion & compliance, and other information for the Brighton Knoll Pond No. 3 Reconstruction. An inspection of the drainage facilities for this section has been made and the facilities were found to be complete and acceptable.

During construction, changes were made to the drain, which will alter the plans submitted with my report for this drain-dated December 13, 2012. The report was approved by the Board at the hearing held December 19, 2012. (See Drainage Board Minutes Book 14, Pages 457-458)

The changes are as follows:

The open ditch was shortened from 305 feet to 293 feet.

It should be noted that this project removed 222 feet of 18" HDPE pipe that was installed with the Extension for Noblesville Schools. The length of the drain due to the changes described above is now **293 feet**.


A non-enforcement was not requested for this portion of drain. The following sureties were guaranteed by Lexon Insurance and International Fidelity and released by the Board on its July 23, 2012 meeting and its September 22, 2014 meeting.

Bond-LC No: 1062004
Insured For: Wheeler & Wheeler Recon.
Amount: \$27,081.36
Issue Date: Oct. 18, 2011

Bond-LC No: 0596203
Insured For: Wheeler & Wheeler Recon.
Amount: \$27,081.36
Issue Date: May 30, 2012

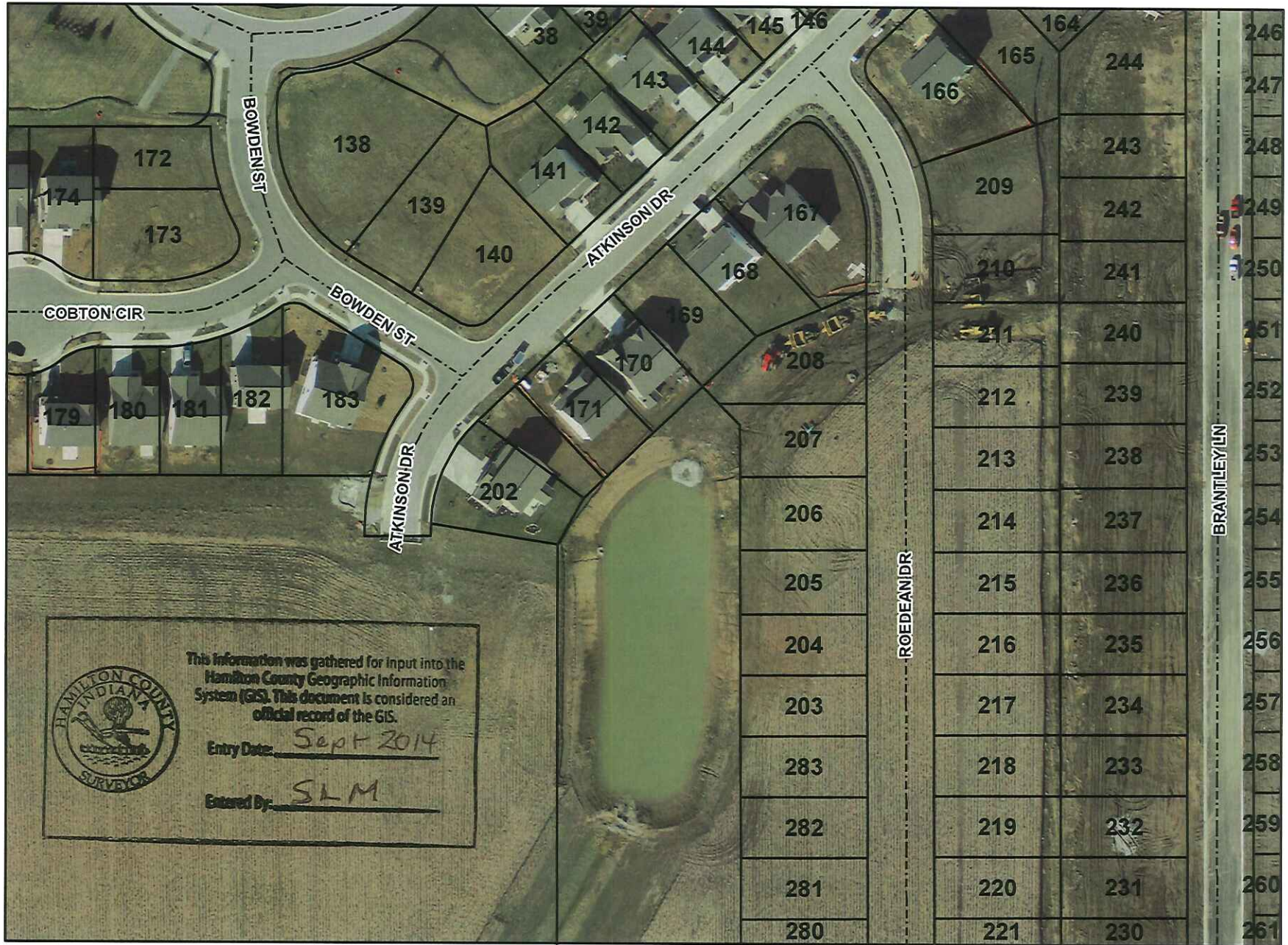
I recommend the Board approve the drain's construction as complete and acceptable.

Sincerely,



Kenton C. Ward, CFM
Hamilton County Surveyor

KCW/slm



Date: 9/15/2014

Map by: slm

Pond No. 3 Expansion

Othortography: 2012



CERTIFICATE OF COMPLETION AND COMPLIANCE

To: Hamilton County Surveyor

FILED

Re: Brighton Knoll, Section 4

DEC 04 2013

OFFICE OF HAMILTON COUNTY SURVEYOR

I hereby certify that:

1. I am a Registered Land Surveyor or Engineer in the State of Indiana.
2. I am familiar with the plans and specifications for the above referenced subdivision.
3. I have personally observed and supervised the completion of the drainage facilities for the above referenced subdivision.
4. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been installed and completed in conformity with all plans and specifications.
5. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been correctly represented on the Record Drawings, Digital Record Drawings and the Structure Data Spreadsheet.

Signature:  Date: December 4, 2013

Type or Print Name: Curtis C. Huff

Business Address: Stoepelwerth & Associates, Inc.

7965 East 106th Street, Fishers, Indiana 46038

Telephone Number: (317) 849-5935



INDIANA REGISTRATION NUMBER

No. 80040348

THIS SHEET TO BE USED FOR EROSION CONTROL ONLY.

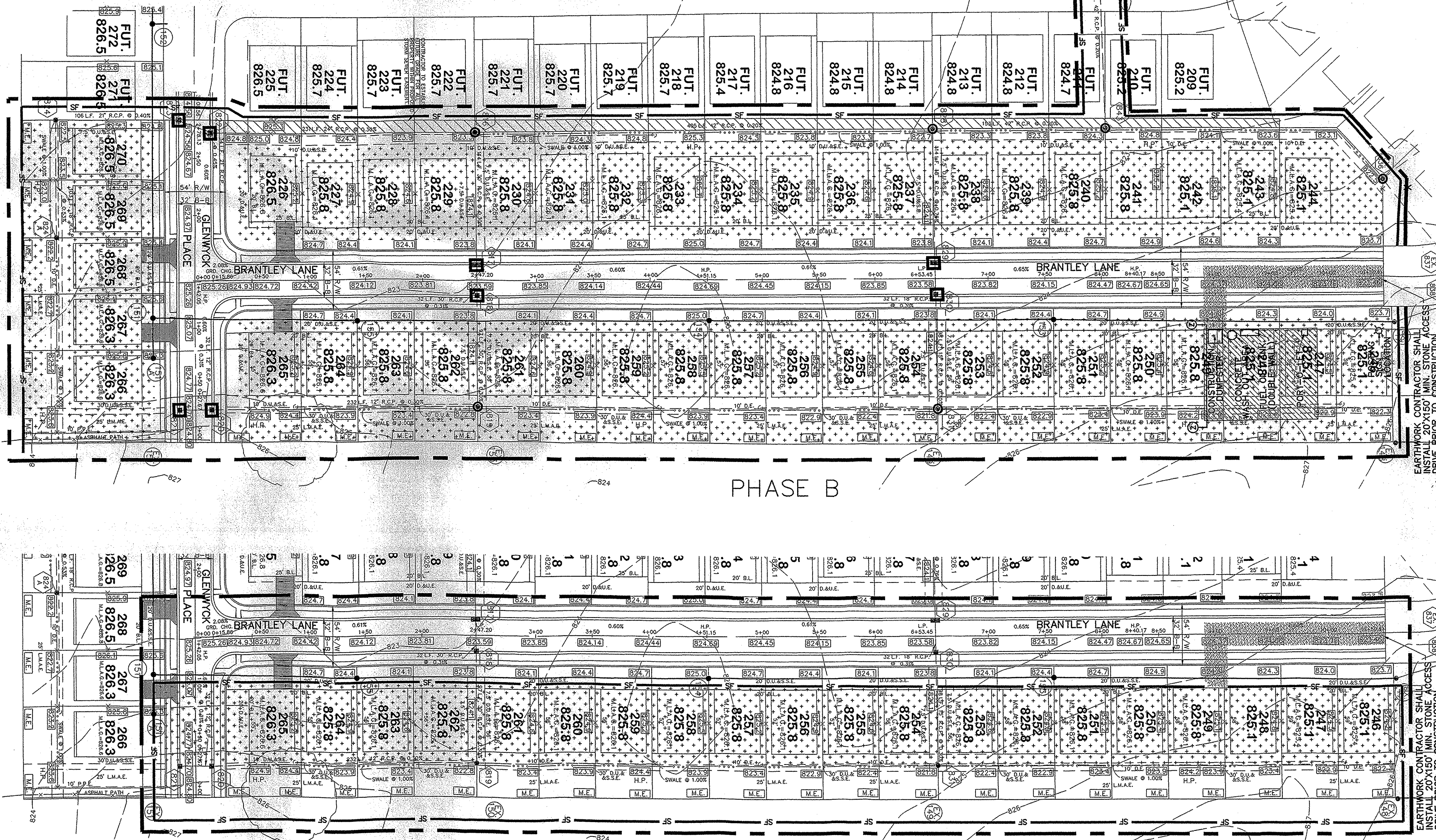
PERSON ONSITE RESPONSIBLE FOR EROSION CONTROL:
 Jim VanNess
 TIMBERSTONE DEVELOPMENT, LLC.
 (317)-844-0433

- PHASE A SEQUENCE**
1. Contractor to install stone entrance.
 2. Contractor to install silt fence.
 3. Contractor to excavate trench for interceptor sewer.
 4. As soon as backfill is placed and regrading of surface is completed contractor shall install shall seed and mulch per plan.
 5. During excavation and dewatering activities should be pumped through a dirt bag, see specification C304.
 6. Upon completion remove silt fence and temporary control measures.

- NOTES:**
- 1) All erosion control methods shall be in compliance with the Indiana Storm Water Quality Manual.
 - 2) The City Engineer has the right to require additional erosion control measures during the course of construction should site conditions warrant.
 - 3) If site remains inactive for a period of 2 weeks then stabilization is required to take place in the form of temporary seeding, mulch, or spray on polymer.

- A9. * Specific Points Where Stormwater Discharge Will Leave This Site:**
 Through existing storm system to the North
- SF Denotes Silt Fence
 - Denotes Construction Limits
 - Temporary "Coconut Fiber Mat" or Below Grade "Drop Inlet Protection Basket"
 - Temporary "Drop Inlet Protection Basket", "Sediment Control Devices"
 - Denotes temporary seeding. Seeding rate: 50g/cvcc. Seeding mixture: 100% perennial ryegrass.

- PHASE B SEQUENCE**
1. The contractor shall schedule a Pre-construction meeting with the City of Noblesville prior to any construction on the site being started. The contractor and/or developer shall notify IDEM and the City of Noblesville 48 hours prior to start of construction.
 2. Following the required pre-construction meeting the contractor shall install the "posting information center" on the East side of Brantley Lane on the North side of the proposed construction entrance. The location of the posting information center is shown on Sheet C300-C301. The posting information center is the location where a copy of the approved IDEM Rule 5 Permit, Approved SWPP Plan, signed O&M Manual and Maintenance Logs are to be located. The contractor shall proceed to construct the construction entrance after all posting requirements have been met.
 3. Immediately following the installation of the construction entrance, the contractor shall construct the maintenance and refueling area. Please refer to the maintenance and refueling area detail on Sheet C304.
 4. After the maintenance and refueling area is constructed, the contractor shall construct the concrete washout area per the specifications on Sheet C304.
 5. Prior to any earth moving the contractor shall install all silt fence as shown on Sheet C300 and C301. The details and specifications for silt fence installation are located on Sheet C304.
 6. The contractor shall protect all existing inlets with drop inlet protection baskets and fiber mats as shown on Sheet C300 and C301. The details and specifications for the drop inlet baskets and fiber mats on Sheet C304.
 7. When the "existing" site/construction limits are completely stabilized, the contractor shall start stripping the existing top soil. Please see Sheet C304 for the temporary seed mixture and rate.
 8. Contractor shall cut proposed swales. Swales shall be seeded and mulched immediately upon completion.
 9. The contractor shall install a rock horseshoe check dam at the pond outlet.
 10. The banks on the south side of the existing ditch near the outlet need to remain in place and will serve as a berm with a spillway to help prevent sediment from entering the existing storm sewer system. (see temporary sediment trap detail sheet C304). Contractor will first have to excavate the south side of the top of bank of the existing ditch to create the berm and prevent runoff from topping the berm and direct flow to the spillway.
 11. The initial excavation of the wet pond will need to involve locating and verifying the location of the existing legal drain pipe. Once located, the contractor shall excavate each side of the drain pipe first, leaving the pipe intact as long as possible. This will allow the clean flow from the drain pipe to continue to the outlet without disrupting excavation with additional flow in the area.
 12. Once opposite sides of the drain pipe have been excavated as much as possible and pond banks have been constructed, the drain pipe may be excavated and tied into the wet pond drainage area.
 13. The contractor shall proceed to grade the remainder of the site. During this phase the dirt from the wet pond excavation will be placed on streets & pads as needed. The wet pond disturbed area shall be seeded immediately upon completion. Due to the time of the season please note the Dormant Seeding specs noted on sheet C302. Any area of disturbed ground must be temporarily seeded if left undisturbed for more than 15 days.
 14. Contractor shall install proposed storm sewer. All inlets and concentrated flow areas (swales) shall be protected immediately following their installation by means of seed and mulch for the swales and drop inlet protection baskets for the inlets.
 15. Contractor shall excavate around the existing sanitary manholes and expose the proposed construction points for the gravity sanitary sewer for this project. Dirt, mud and debris shall be cleaned up and removed from the streets daily prior to the contractor leaving the site.
 16. The proposed onsite storm sewer and sanitary sewer shall be installed concurrently with each other when crossings are encountered.
 17. The contractor shall prepare the sub-grade for the proposed road system. If lime stabilization is the method chosen, dust shall be kept to a minimum. Dust shall be removed from the construction vehicles prior to leaving the site.
 18. Contractor shall install all concrete roll curb.
 19. Contractor shall install water main. The trench area shall be seeded and mulched immediately following the installation of the water main.
 20. Contractor shall have all other appropriate utilities installed. It is ultimately the responsibility of the contractor to ensure that the trench area is seeded and mulched immediately following the installation of each utility.
 21. Contractor shall install all asphalt pavement.
 22. Contractor shall install the proposed erosion control blanket in all swales as shown on Sheet C302. The details and specifications for the erosion control blanket can be found on Sheet C304.
 23. The contractor shall permanent seed all areas between the back of curb and the constructed pads and all other areas that are illustrated on Sheet C302. The seed mixture and rate can be found on Sheet C304.
 24. The contractor shall schedule a site inspection with the City of Noblesville to ensure that the site is stabilized. After the inspector approves the site conditions the contractor shall remove all temporary erosion control practices.
 25. The post-construction erosion control practices then become the responsibility of the developer of this project.
 26. The developer of this project shall continue to monitor this site for good house keeping on the post-construction BMP's until a NOT is filed with IDEM by SURVEYORS OF THE STATE OF INDIANA.



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REV. NO.	DATE	BY	REVISIONS
1	10/27/11	BH	REV. SEQUENCE AND NET POND CONTROL
2	11/12/11	BH	SHET SAN/ADD SAN MH 151/NOVE X-WALKS
3	7/29/11	TWF	ADD PHASE 2 INFO
4	7/17/11	TWF	REVISE PER COMMENTS
5			

THIS DRAWING IS NOT INTENDED TO BE REPRESENTED AS A RETRACEMENT OR SURVEY OF A SURVEYOR LOCATION.

CERTIFIED: 5/27/11
 STOEPPELWERTH & ASSOCIATES, INC.
 CONSULTING ENGINEERS & LAND SURVEYORS
 7965 East 106th Street, Fishers, IN 46038-2505
 Phone: (317) 849-5635 Fax: (317) 849-5942
 Toll Free: (800) 729-8917

APPROVED
 DATE: 10/27/11
 LOCATION OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (including but not limited to: signposts, wires, manholes, etc.) and are not to be used as a basis for construction. If there is any discrepancy between the above ground evidence and the location of any existing underground utilities, the contractor shall verify the location of such utilities before commencing work.

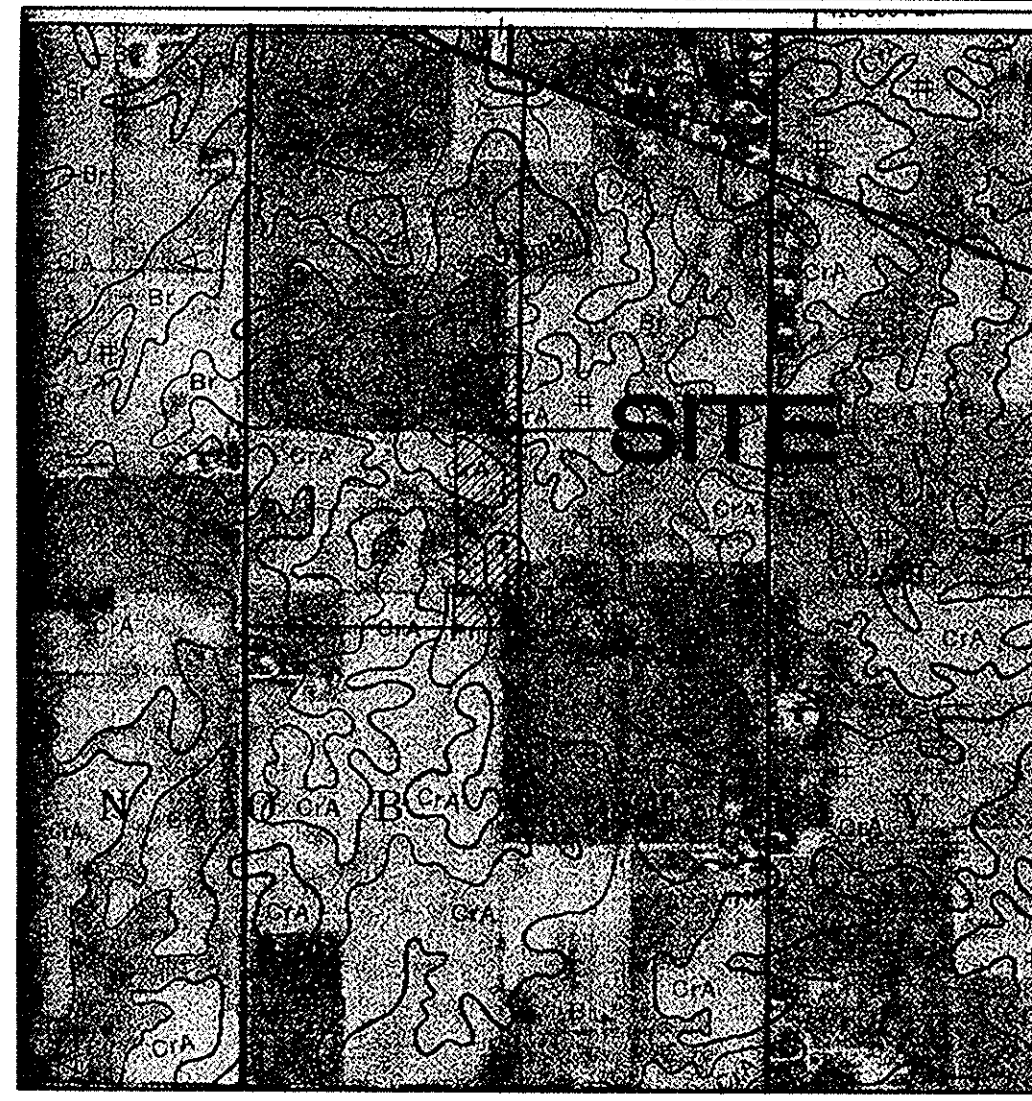
"IT'S THE LAW"
 CALL 2 WORKING DAYS BEFORE YOU DIG
 1-800-382-5544
 PER INDIANA STATE LAW ICS-1-26, IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWO (2) WORKING DAYS BEFORE COMMENCING WORK.

DRAWN BY: TWF
 CHECKED BY: JOR
 SHEET NO. C301
 S & A JOB NO. 43400TRT-S4

BRIGHTON KNOLL SECTION 4

Developed by:
TIMBERSTONE DEVELOPMENT, LLC.
9210 NORTH MERIDIAN STREET
INDIANAPOLIS, INDIANA 46260
(317)-844-0433

CONTACT PERSON: Jim VanNess
EMAIL: JIMV@WESTPORT-HOME.COM

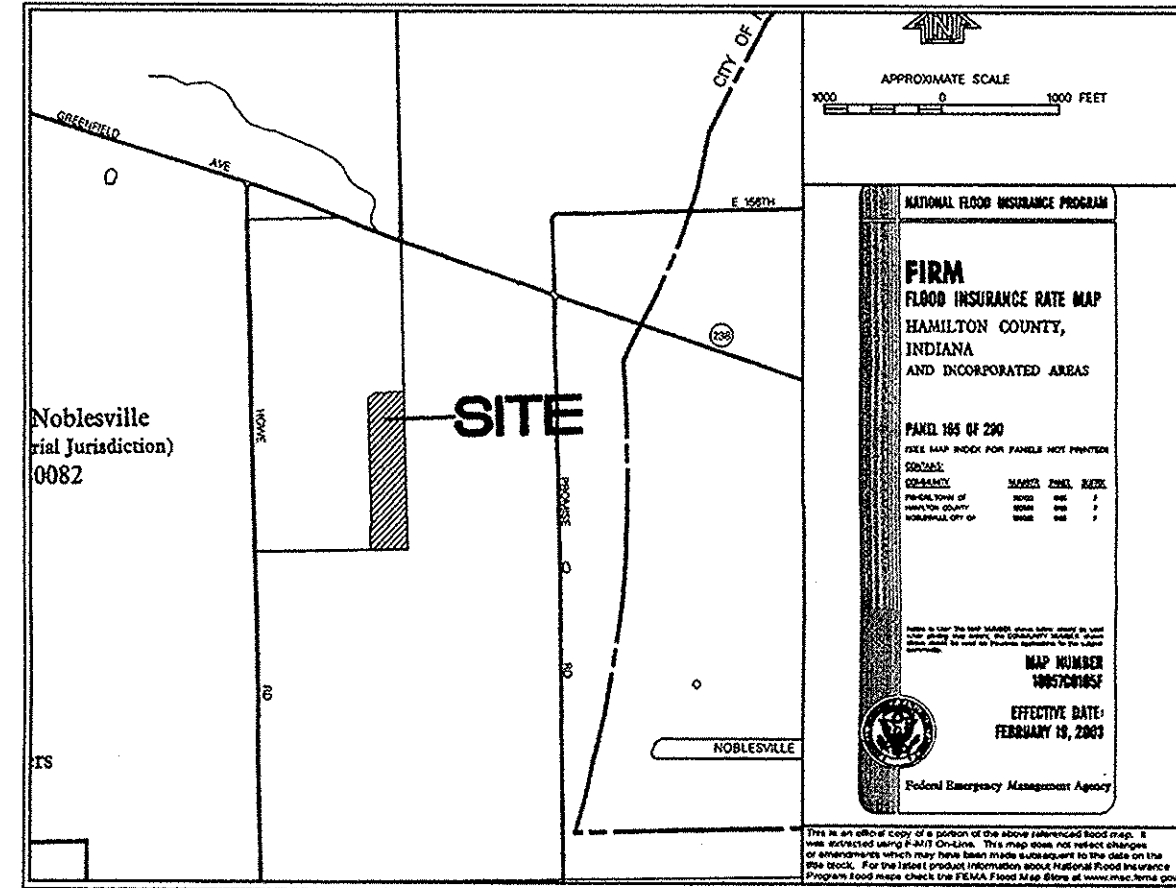


SOILS MAP

CA Crosby silt loam, 0-3 percent slopes—this soil is light colored, silty in texture and on sloping uplands. It is deep and somewhat poorly drained with slow permeability. It has high available water for plant growth and medium organic matter content. The soil has compact till starting at a depth between 20-40 inches. The main soil features that affect urban development uses are seasonal high water table, moderate shrink-swell potential, high potential frost action and slow permeability.

B Brookston silty clay loam—this soil is dark colored, silty in texture and on depressional uplands. It is deep and very poorly drained with moderate permeability. It has high available water for plant growth and high organic matter content. It has compact till starting at a depth of 40 to 60 inches. The main soil features that affect the urban development uses are seasonal high water table, high potential frost action, moderate shrink-swell potential, moderate permeability and ponded surface water.

MnB2 Miami silt loam, 2-6 percent slopes—this soil is light colored, silty in texture and on sloping uplands. It is deep and well drained with moderate permeability. It has moderate available water for plant growth and a medium organic matter content. It has compact till starting at a depth between 20-40 inches. The main soil features that adversely affect urban development uses are moderate potential frost action, moderate shrink-swell potential, moderately slow permeability, low strength and erosion during construction.

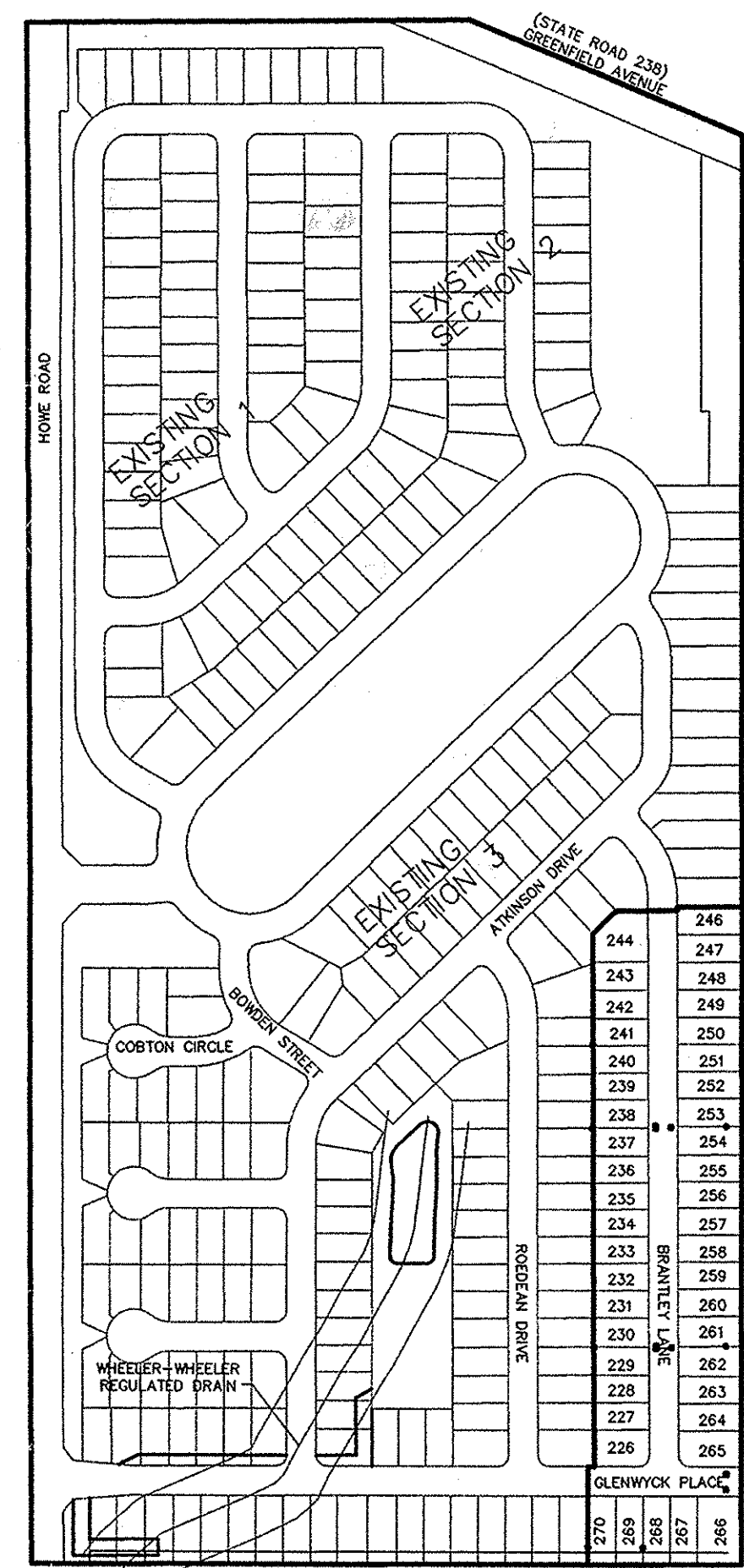


INDEX

SHT.	DESCRIPTION
C001	COVER SHEET
C100	TOPOGRAPHICAL SURVEY
C200-C201	SITE DEVELOPMENT PLAN / EMG. FLOOD ROUTE
C300-C303	EROSION CONTROL PLAN & SPECIFICATIONS
C400-C402	STREET PLAN & PROFILES / INTERSECTION DETAILS / SIGN PLAN
C500	SANITARY SEWER PLAN & PROFILES
C600	STORM SEWER PLAN & PROFILES
C700-C701	WATER PLANS & DETAILS

SHT.	DESCRIPTION
1	DIRECTIONS FOR USE, & GENERAL NOTES
2	RIGHT-OF-WAY & UTILITY ESMT. GUIDELINES
3	PAVEMENT, CURB & SIDEWALK DETAILS AND NOTES
4	STORM SEWER BEDDING DETAILS AND NOTES
5	STORM SEWER DETAILS AND NOTES
6	SANITARY SEWER BEDDING DETAILS AND NOTES
7	SANITARY SEWER DETAILS AND NOTES
8	SEDIMENT CONTROL & MONUMENTATION GUIDELINES
9	MISCELLANEOUS DETAILS AND NOTES
10	STREET LIGHTING GUIDELINES & MISC. DETAILS AND NOTES
11	STREET CUT DETAILS
12	STREET LIGHTING & TRAFFIC SIGNAL STANDARDS, DETAILS, AND NOTES
13	LANDSCAPE PLANTING AND SEEDING DETAILS AND GENERAL NOTES
14	THOROUGHFARE ROUNDABOUT SINGLE LANE
15	LOCAL ROUNDABOUT
16	ROUNDABOUT DETAILS AND NOTES

SHT.	DESCRIPTION
ALL	REVISE PER TAC COMMENTS 7/7/11 TWF
C-200	ADDED DRIVEWAYS FOR LOTS 226 AND 265 8/1/11 BKR
ALL	REVISE PER CITY AND MS4 COMMENTS 8/19/11 BAH
ALL	REVISE PER CITY COMMENTS 9/12/11 BAH
C500, C600,	AS-BUILTS 2/15/12 RJS
C601 & C700	



EROSION CONTROL	
PERM SEEDING	8,577 S.Y.
TEMP SEEDING	13,045 S.Y.
EROS BLANKET	2,073 S.Y.

THERE ARE NO WETLANDS IMPACTED BY THE PROPOSED PLANS

SCALE: 1"=300'

UTILITIES

ELECTRIC DUKE ENERGY
100 SO. MILL CREEK ROAD
NOBLESVILLE, IN. 46060

TELEPHONE AMERITECH
5858 NORTH COLLEGE
INDIANAPOLIS, IN. 46220

GAS VECTREN ENERGY
16000 ALLISONVILLE ROAD
NOBLESVILLE, IN. 46060

CABLE COMCAST
9750 EAST 150TH STREET, SUITE 1600
NOBLESVILLE, IN. 46060

WATER INDIANA-AMERICAN WATER COMPANY
835 WAYNE STREET
NOBLESVILLE, IN. 46060

SANITARY NOBLESVILLE WASTEWATER
197 WASHINGTON STREET
NOBLESVILLE, IN. 46060

STREET INVENTORY (by segments)		
STREET	SEGMENT	CL LENGTH
BRANTLEY LANE	0+00-10+50.61	1050.61
GLENWYCK PLACE	0+00-2+83.56	283.56

SANITARY SEWER PIPE				
PIPE	DEPTH	LENGTH		
8" SDR	26	12'-14"	295 L.F.	
8" PVC	26	14'-16"	490 L.F.	
8" SDR	26	16'-18"	607 L.F.	

STORM SEWER PIPE				
PIPE	DEPTH	LENGTH		
12" RCP	CLASS 3	2'-4"	264 L.F.	
15" RCP	CLASS 3	2'-4"	98 L.F.	
18" RCP	CLASS 3	2'-4"	106 L.F.	
18" RCP	CLASS 3	4'-6"	146 L.F.	
21" RCP	CLASS 3	2'-4"	106 L.F.	
24" RCP	CLASS 3	2'-4"	231 L.F.	
30" RCP	CLASS 3	2'-4"	243 L.F.	
42" RCP	CLASS 3	2'-4"	753 L.F.	

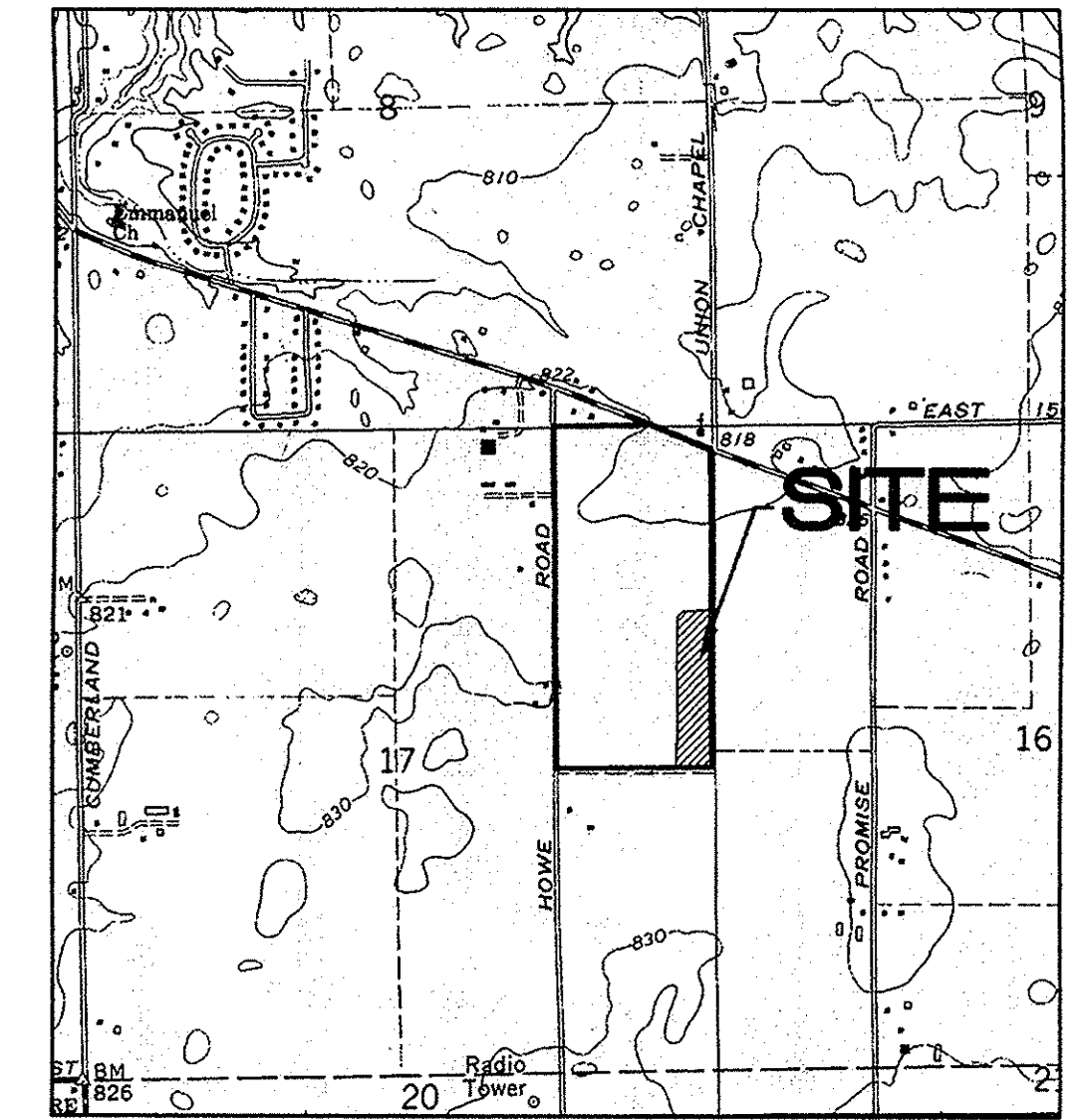
SIDEWALK INVENTORY	
FULLY DEVELOPED	LENGTH
	10,462 sq. ft.

STREET LIGHTING	
TYPE	NUMBER
City Std. Decorative	1

REGULARITY SIGNS	
TYPE	NUMBER
STOP	1
STREET	1
SPEED LIMIT	2

CURB	
TYPE	NUMBER
Roll Curb	2,587 L.F.
Chairback Curb	0

SANITARY SEWER STRUCTURE		
MANHOLE	DEPTH	NUMBER
TYPE A	12'-14"	2
TYPE A	14'-16"	3
TYPE A	16'-18"	1



LOCATION MAP

SUD SURFACE DRAIN	
PIPE	LENGTH
6" SSD	1,937 L.F.

STORM SEWER STRUCTURE		
MANHOLE	DEPTH	NUMBER
TYPE C	2'-4"	1
TYPE H	4'-6"	2
TYPE K	8'-10"	3
INLET		
DEPTH	NUMBER	
TYPE A	2'-4"	4
TYPE A	4'-6"	1
TYPE B	2'-4"	4

DESIGN DATA
44 LOTS = 5.79 LOTS/ACRE
7.60 AC.
BRANTLEY LANE 1050.61 L.F.
GLENWYCK PLACE 283.56 L.F.

THE CITY OF NOBLESVILLE STANDARDS FOR PUBLIC INFRASTRUCTURE CONSTRUCTION SHALL BE INCORPORATED BY REFERENCE INTO THESE PLANS. IN THE EVENT THAT CONFLICTING STANDARDS OCCUR, THE FOLLOWING ORDER OF PRECEDENCE SHALL GOVERN.

- CITY OF NOBLESVILLE STANDARDS
- INDIANA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATION
- TEN STATE STANDARDS
- PROJECT SPECIFIC PROVISIONS
- ANY OTHER APPLICABLE STANDARDS AND SPECIFICATIONS.

NO ALTERNATE SPECIFICATIONS OR MATERIALS OR NEW MATERIALS MAY BE USED WITHOUT THE EXPRESS WRITTEN APPROVAL FROM THE CITY OF NOBLESVILLE PRIOR TO THE COMPLETION OF THE WORK.

DESIGN PROFESSIONAL CERTIFYING PLANS FOR THE PROJECT ACKNOWLEDGES THEIR PROFESSIONAL RESPONSIBILITY FOR ENSURING THAT ALL WORK IS CORRECT, ACCURATE AND COMPLIES WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES. IF SUCH AN ERROR/OR OMISSION IS FOUND, THE DESIGN PROFESSIONAL ACCEPTS FULL RESPONSIBILITY AND SHALL DETERMINE A SOLUTION THAT COMPLIES WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES. IF SUCH AN ERROR OR OMISSION IS FOUND, THE DEVELOPER IS NOT RELIEVED TO COMPLY WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES.

PLANS PREPARED BY:
STOEPPELWERTH & ASSOCIATES, INC.
CONSULTING ENGINEERS & LAND SURVEYORS
7965 EAST 106TH STREET
FISHERS, INDIANA 46038
PHONE: (317) 849-5935
FAX: (317) 849-5942
CONTACT PERSON: JAMES O. RINEHART, IV
EMAIL: JRinehart@Stoepelwerth.com

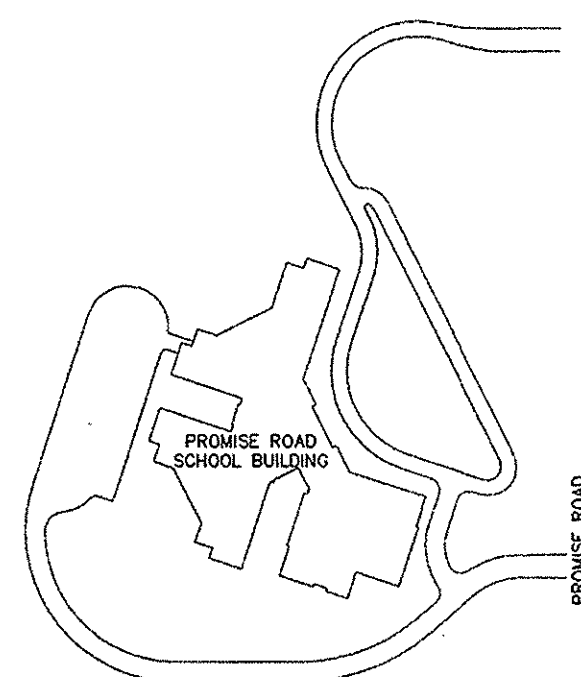
PLANS CERTIFIED BY:

James O. Rinehart, IV
JAMES O. RINEHART, IV DATE 5/27/11
PROFESSIONAL ENGINEER



RECORD DRAWING

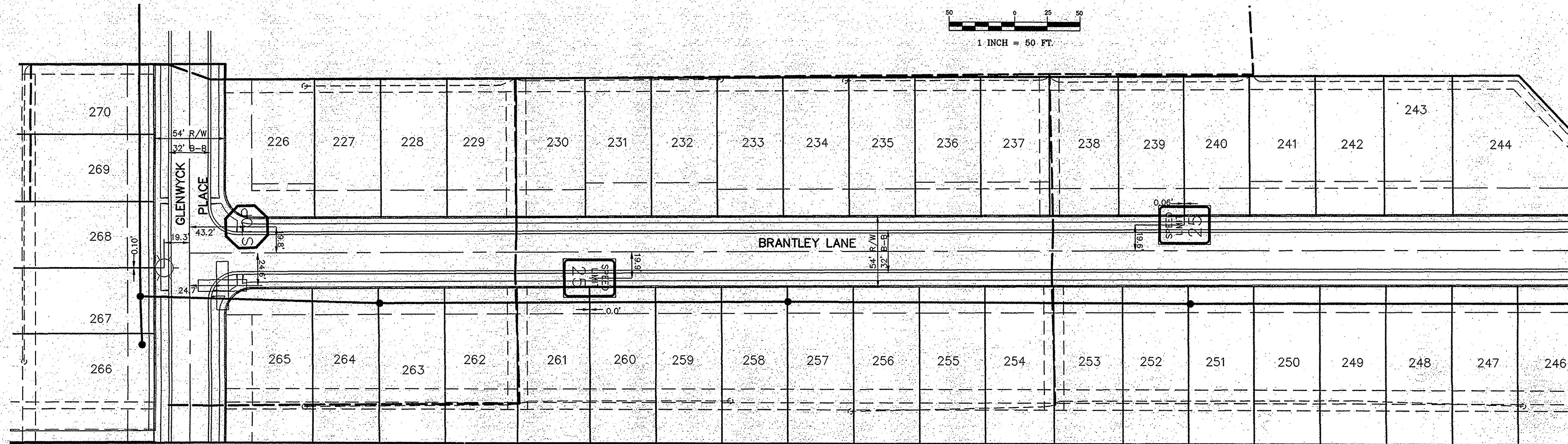
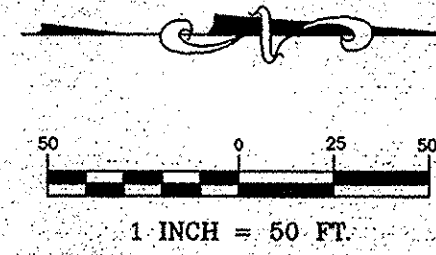
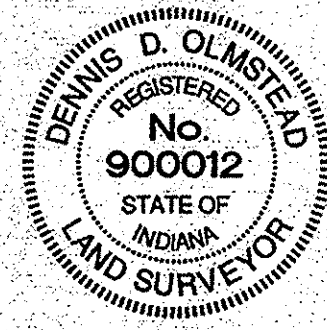
D. D. OLMSTEAD
DENNIS D. OLNSTEAD
Registered Land Surveyor
No. 900012
DATE 2/15/12



RECORD DRAWING

D. D. Olmstead
 DENNIS D. OLMSTEAD
 Registered Land Surveyor
 No. 900012

3/23/12
 DATE



LEGEND

- ROAD NAME SIGN - 1 (D3)
- STOP SIGN - 1 (R1-1)
- SPEED LIMIT SIGN - 2 (R2-1)
- STREET LIGHT - 1

SEE CITY OF NOBLESVILLE CONSTRUCTION
 DETAIL SHEET 9 OF 16 FOR DETAILS &
 SPECIFICATIONS FOR REGULATORY SIGNS.

SEE DETAILS THIS SHEET FOR
 ALTERNATIVE TO THE THE CITY
 STANDARDS FOR STREET LIGHTING.

STREET NAME SIGNS

- 11-3LBS PER FT GALVANIZED POST
- 4-30" R1-1 H.I. 3M FILM ON .080
H32-5052 ALLOY BLANKS
- 3-24"X 30" R2-1 25 H.I. 3M FILM ON
H32-5052 ALLOY BLANKS
- 8-9" H.I. EXTRUDED SIGN BLANKS WITH
GREEN E.C FILM REVERSED OUT FOR
STREET NAMES, 4-SUPR-LOC 12CRX
AND 4-SURP-LOC 12U-180X BRACKETS

Post Top Luminaire - Acorn Shaped

This luminaire is referred to as an acorn because it is shaped similar to the small acorn that is produced by the oak tree.

This acorn shaped luminaire features a glass globe with prismatic ridges for precision photometrics and efficient lighting pattern output.

When this luminaire is mounted on a decorative pole it suggests an elegant and historical era that enhances the theme of a lighting area during both the daytime and nighttime hours.

Today this bygone era can be recaptured with the convenience of electricity and automatic controls for the lighting hours. Current technology allows the lighting output to be more energy efficient, reliable and effective than it has ever been.

The poles used for mounting this luminaire resemble the styles of the past...while producing an aesthetic appearance with practicality and durability.

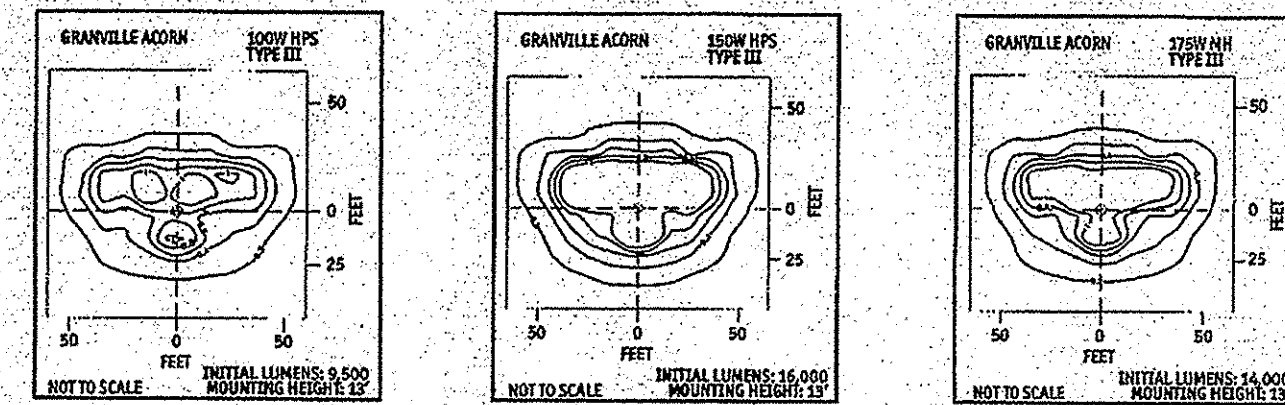
Two different anchor base, foundation mounted, decorative aluminum poles are being offered for this luminaire. Both poles have fluted shafts but each has a unique shape on the lower portion. They each have a 12 foot shaft length which results in a 13 foot luminaire mounting height from ground level.



Post Top Luminaire - Acorn Shaped

Application
 This post top mounted luminaire is used in residential subdivisions, apartment or condominium complexes, downtown pedestrian areas, city parks, river walks, etc.

Photometrics
 Lighting Output Distribution or Pattern for the Acorn Luminaire- The pole is located where the two center lines intersect. HPS or High Pressure Sodium provides a soft golden yellow light while the MH or Metal Halide provides a white light source.



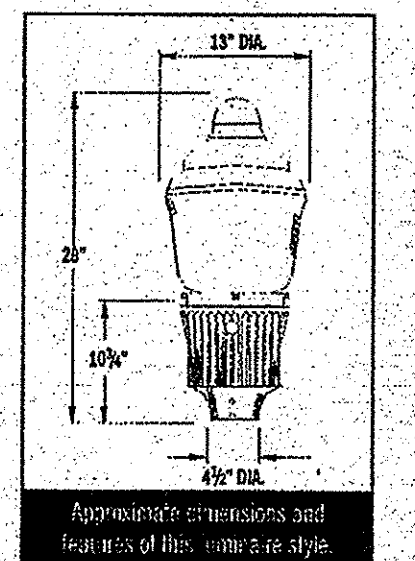
Wattage - Voltage-120V
 High Pressure Sodium - 100W, 150W
 Metal Halide-175W

Luminaire Construction
 This acorn luminaire has cast aluminum housing with black, polyester, powder coat finish. The pull out power module, holds the ballast, terminal block, and plug-in starter, along with the hidden twistlock photocell, which uses a small window to measure outside light for off and on control.

Photometrics
 The most common photometric pattern for this luminaire is Type III and this is considered a semi-cutoff off. (See above photometric patterns for examples.)

Mounting
 This luminaire mounts directly onto a three- inch diameter tenon at the top of the pole.

Installation
 This lighting equipment is installed with underground conductor and electrical facilities.



STREET LIGHTING

Street Lighting is required on all streets. Street Lights, on New Local Streets Being Constructed With A Plat, Shall Be Shown On The Lighting Plans. At Entrances And Intersections, Within Cul-De-Sacs And At Specified Locations Requiring Additional Lighting, Lighting Plans Shall Be Submitted To The Noblesville Department Of Engineering For Approval.

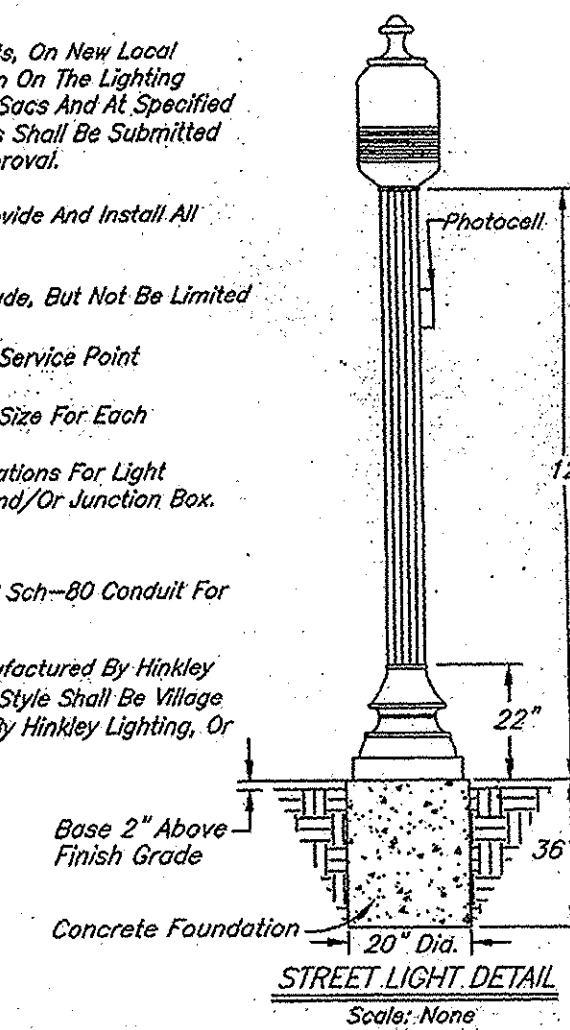
It Shall Be The Responsibility Of The Developer To Provide And Install All Street Lighting.

All Lighting Plans, Submitted For Approval, Shall Include, But Not Be Limited To The Following:

- a) Location Of Each Light Standard And The Service Point Or Junction Box Serving Each Luminaire.
- b) Plan Notations Showing Conduit And Wire Size For Each Conduit Run.
- c) Manufacturer's Catalog Cuts And Specifications For Light Fixtures, Apparatuses, Service Points And/Or Junction Box.
- d) Paint Color Specimen Samples.

Copper Wire Shall Be Placed In 4-Inch Diameter PVC Sch-80 Conduit For All Runs Under Pavement.

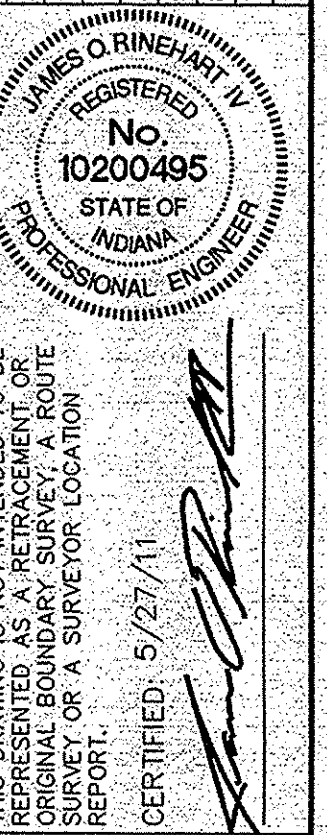
Street Lights Style Shall Be The Washington, As Manufactured By Hinkley Lighting, Or Noblesville Approved Equal. Luminaires Style Shall Be Village Series (Environmentally Friendly), As Manufactured By Hinkley Lighting, Or Noblesville Approved Equal.



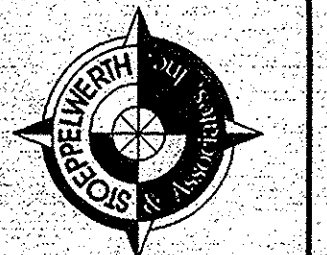
Materials
 Pole: Village Series, Environmentally Friendly.
 Pole: 5" Dia. 0.125-Inch Thick Extruded A
 15 3/4"
 Tenon: 3" O.D. x 3"
 Access Door: 3" x 6" x 7" Secured With
 Tamper-Proof Screws.
 Photo Cell: 70203 Supplied With Easy Access L

Notes
 1) Anchor Bolt Bases Are Required For Each Light Pole. Three 5/8" Dia. Galvanized J-Bolts Shall Be Tightly Secured For Each Light Base.
 2) Pole, Base And Final Shall Receive 1-1/2 Mil. Electrostatically-Applied Polyester Powder Coat To Match Color Deep Hemlock (6348-5), As Manufactured By Porter Paints. The Finish Shall Be Smooth. See Note 3.d.
 3) The Lighting Shall Be Placed Away From The Street On The Back Side Of The Sidewalk Or No Closer Than 9 Feet From The Back Of The Curb, Where Rollover

NO.	DATE	BY	REVISIONS
1	7/10/12	TWF	ISSUES
2	8/27/11	JOR	SHIFT SIGN/ADD SAN. W. 1512/NOVE 3-WALKS
3	9/19/11	JOR	ADD ALL STREET LIGHTING INFO
4	7/27/11	TWF	REVISE PER COMMENTS

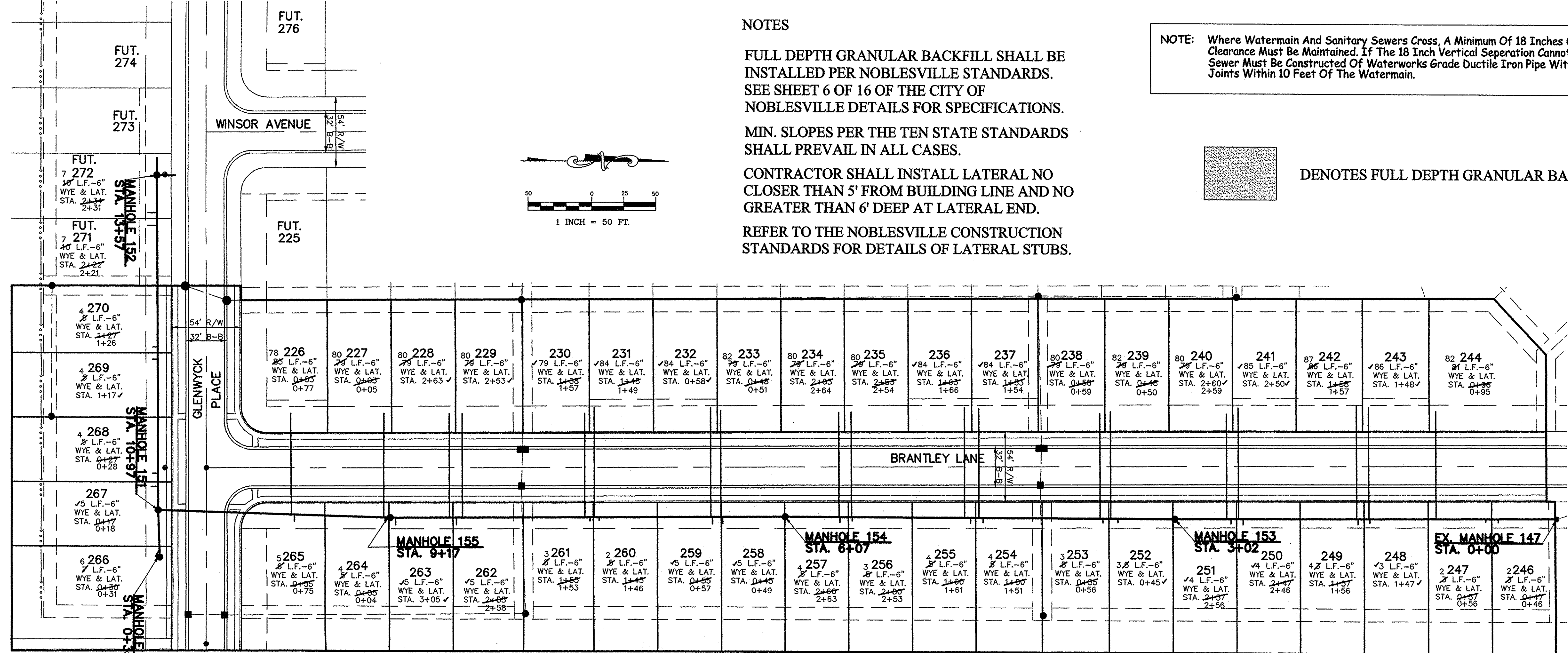


STOEPPELWERTH & ASSOCIATES, INC.
 CONSULTING ENGINEERS & LAND SURVEYORS
 7965 East 106th Street, Fishers, IN 46038-2505
 Phone: (317) 849-3935 Fax: (317) 849-5942
 Toll Free: (800) 728-6917



INDIANA
 NOBLESVILLE
 BRIGHTON KNOLL
 SECTION 4
 TRAFFIC PLAN

DRAWN BY: TWF
 CHECKED BY: JOR
 SHEET NO: C402
 S & A JOB NO: 43400TRT-S4



NOTES

FULL DEPTH GRANULAR BACKFILL SHALL BE INSTALLED PER NOBLESVILLE STANDARDS. SEE SHEET 6 OF 16 OF THE CITY OF NOBLESVILLE DETAILS FOR SPECIFICATIONS.

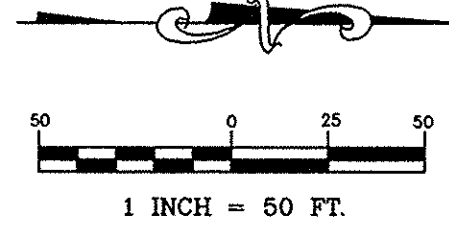
MIN. SLOPES PER THE TEN STATE STANDARDS SHALL PREVAIL IN ALL CASES.

CONTRACTOR SHALL INSTALL LATERAL NO CLOSER THAN 5' FROM BUILDING LINE AND NO GREATER THAN 6' DEEP AT LATERAL END.

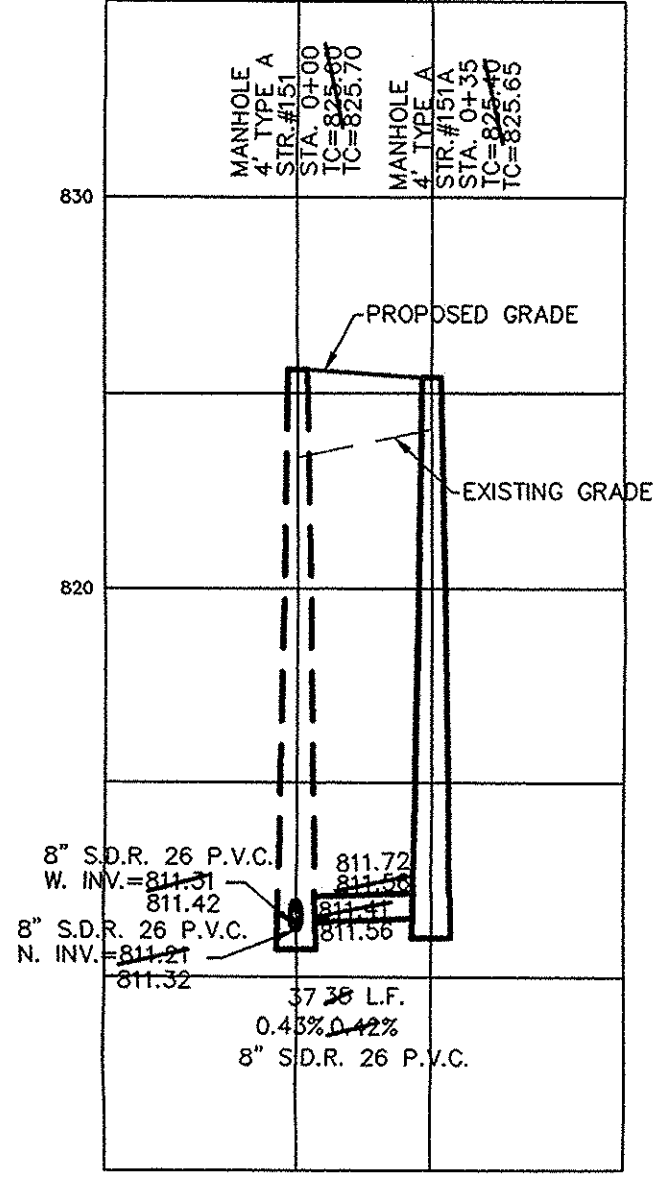
REFER TO THE NOBLESVILLE CONSTRUCTION STANDARDS FOR DETAILS OF LATERAL STUBS.

NOTE: Where Watermain And Sanitary Sewers Cross, A Minimum Of 18 Inches Of Vertical Clearance Must Be Maintained. If The 18 Inch Vertical Separation Cannot Be Maintained, The Sewer Must Be Constructed Of Waterworks Grade Ductile Iron Pipe With Mechanical Joints Within 10 Feet Of The Watermain.

DENOTES FULL DEPTH GRANULAR BACKFILL



SCALE: 1"=50' HOR.
1"=5' VERT.

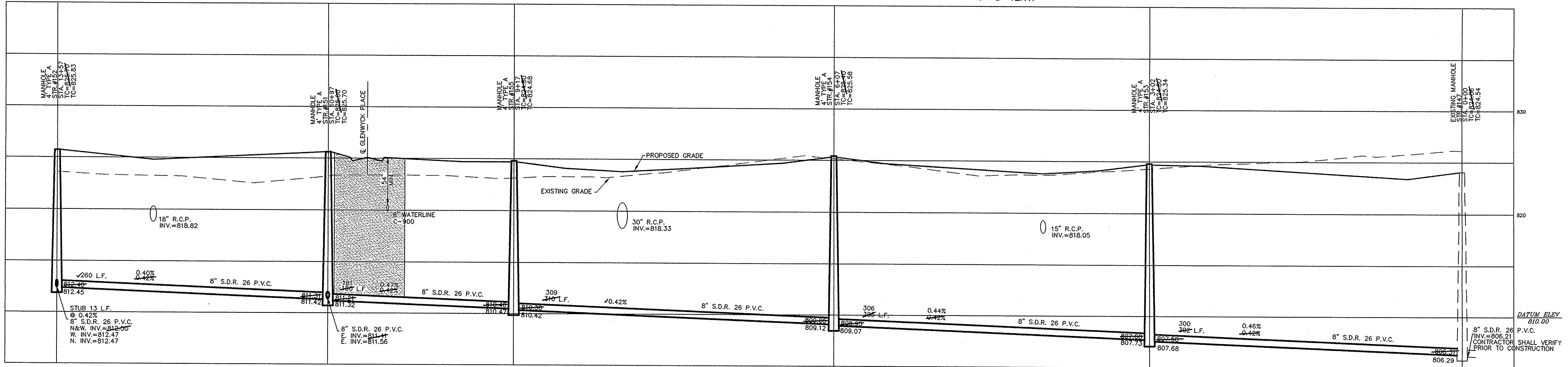


RECORD DRAWING

D. D. Olmstead
DENNIS D. OLMSTEAD
Registered Land Surveyor
No. 900012
DATE: 2/15/12



SCALE: 1"=50' HOR.
1"=5' VERT.



DATE	MARK	REVISIONS
2/15/12		AS-BUILTS
9/12/11		SHIFT SAN/ADD SAN MH 151A/MOVE X-WALKS
7/7/11		REVISE PROFILE
6/8/11		UPDATE PROFILE LABEL SIZE

JAMES O. RINEHART
REGISTERED
No. 10200495
STATE OF INDIANA
PROFESSIONAL ENGINEER
CERTIFIED: 5/27/11

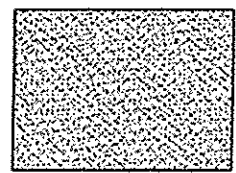
STOEPPELWERTH & ASSOCIATES, INC.
CONSULTING ENGINEERS & LAND SURVEYORS
7985 East 108th Street, Fishers, IN 46038-2505
Phone: (317) 849-5935 Fax: (317) 849-5942
Toll Free: (800) 728-6917



SANITARY PLAN & PROFILE
BRIGHTON KNOLL
SECTION 4
NOBLESVILLE INDIANA

DRAWN BY: TWF
CHECKED BY: JOR
SHEET NO. C500
S & A JOB NO. 43400TRT-S4

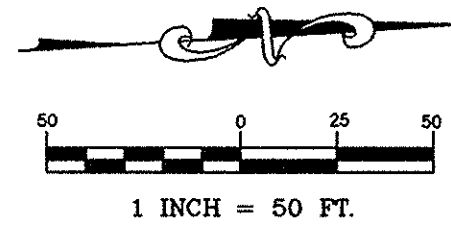
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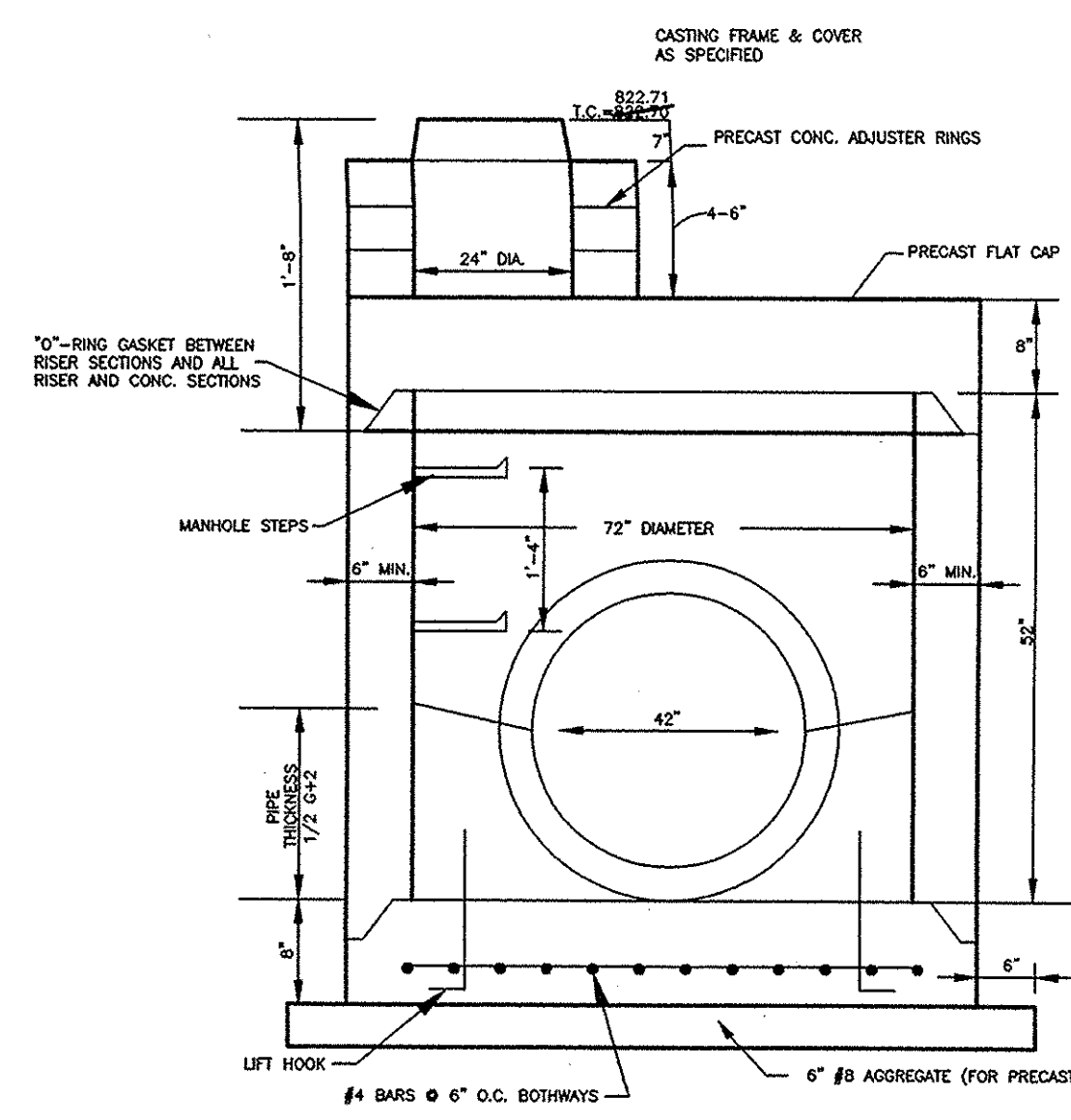
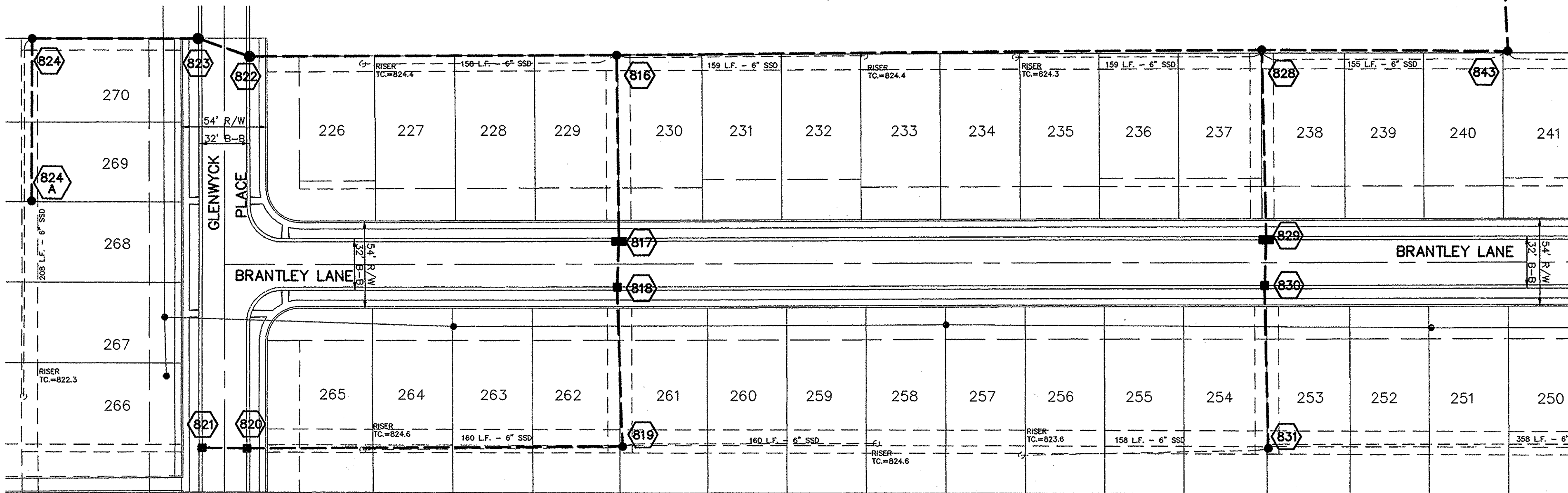
DENOTES FULL DEPTH GRANULAR BACKFILL

NOTES:

FULL DEPTH GRANULAR BACKFILL SHALL BE INSTALLED PER NOBLESVILLE STANDARDS. SEE SHEET 4 OF 16 OF THE CITY OF NOBLESVILLE DETAILS FOR SPECIFICATIONS.

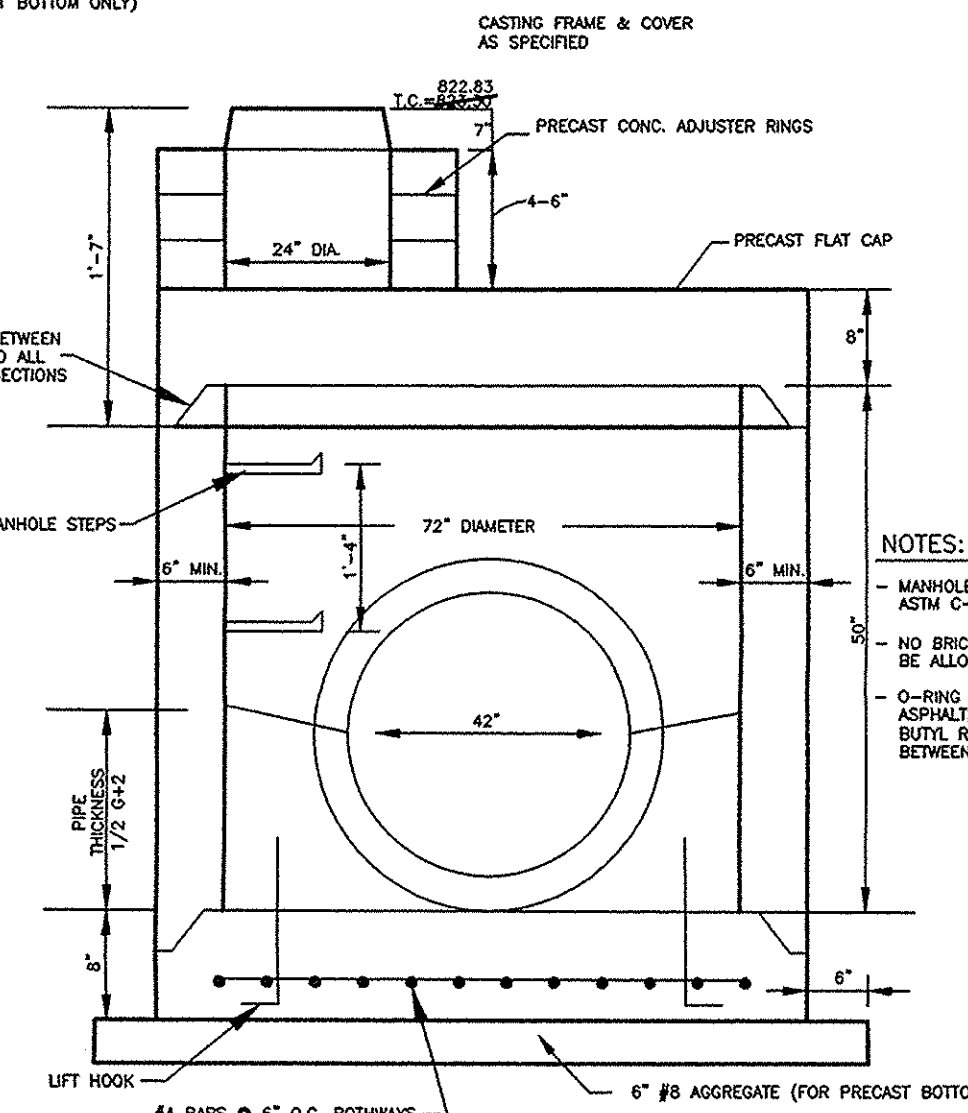


EX. 842



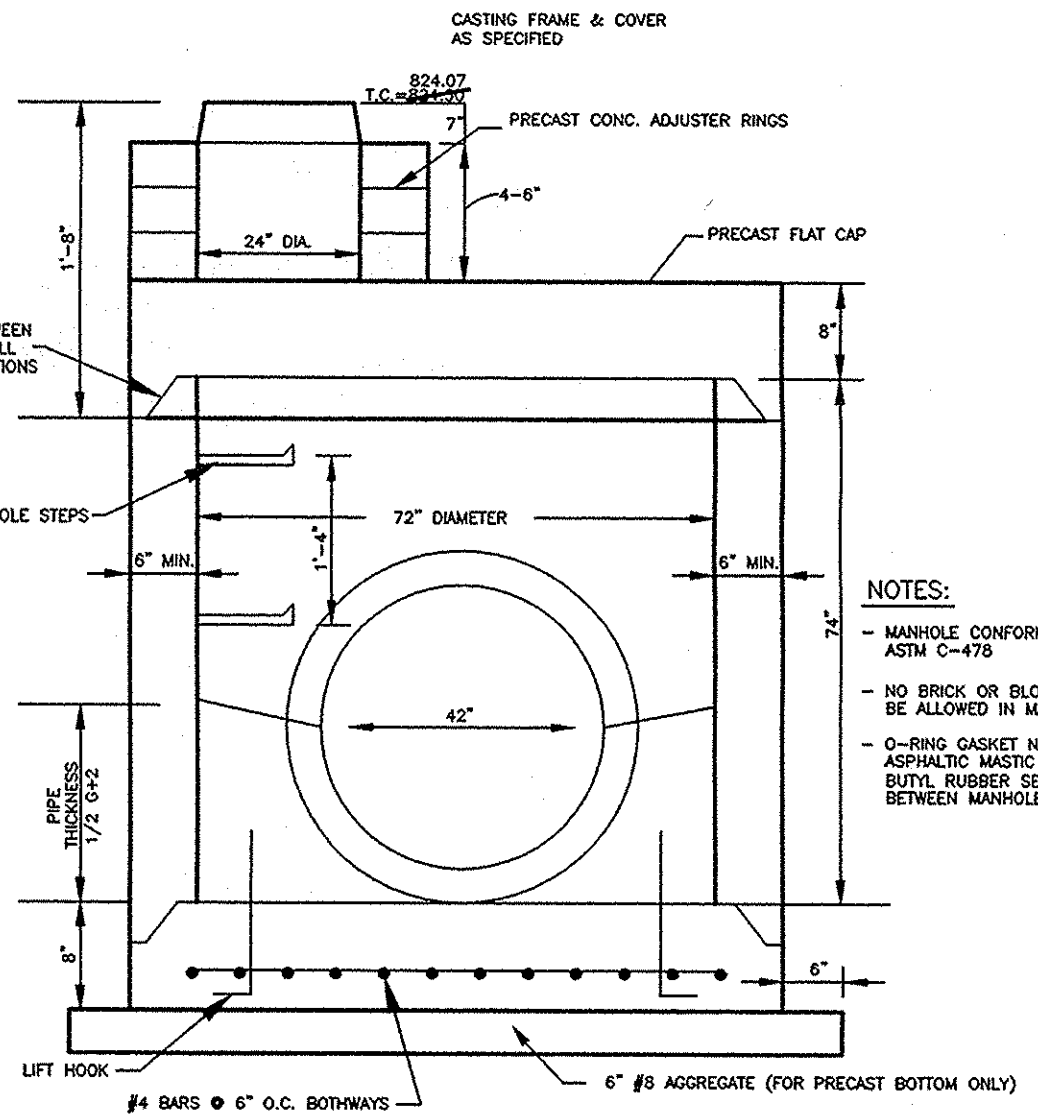
MANHOLE STRUCTURE 828 NOT-TO-SCALE

NOTES:
- MANHOLE CONFORMS TO ASTM C-478
- NO BRICK OR BLOCK WILL BE ALLOWED IN MANHOLE
- O-RING GASKET NON-ASPHALTIC MASTIC OR BUTYL RUBBER SEAL BETWEEN MANHOLE JOINTS



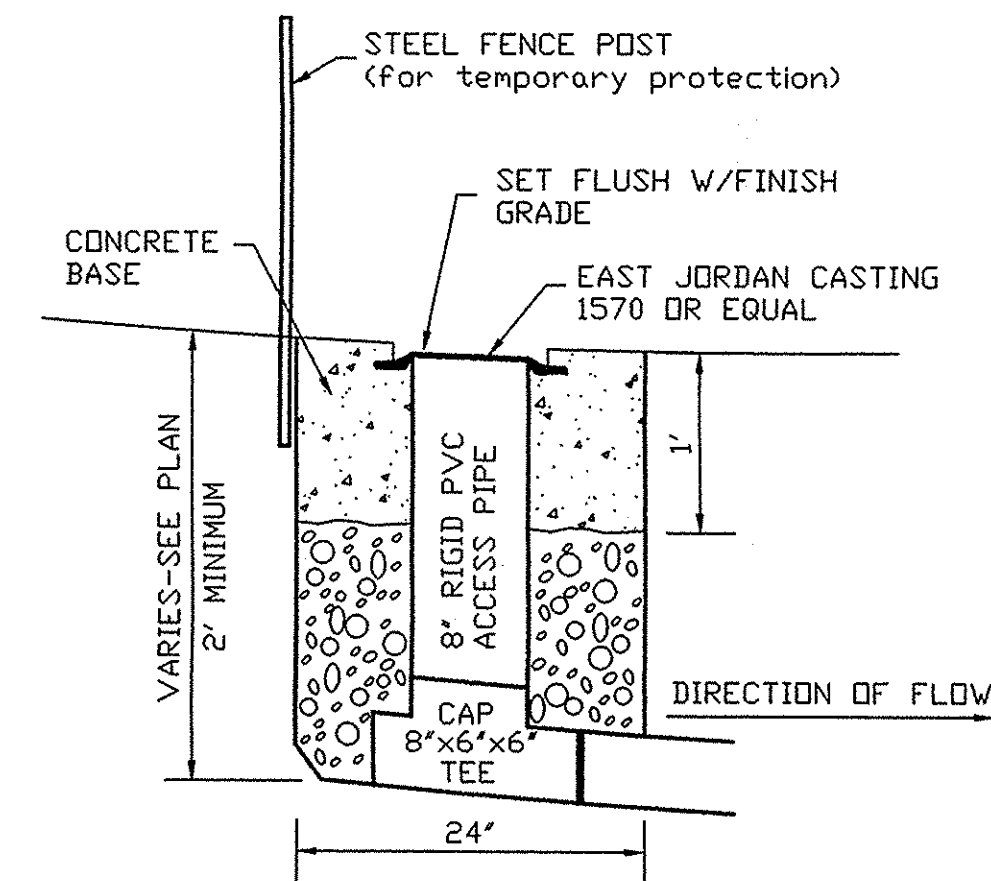
MANHOLE STRUCTURE 816 NOT-TO-SCALE

NOTES:
- MANHOLE CONFORMS TO ASTM C-478
- NO BRICK OR BLOCK WILL BE ALLOWED IN MANHOLE
- O-RING GASKET NON-ASPHALTIC MASTIC OR BUTYL RUBBER SEAL BETWEEN MANHOLE JOINTS



MANHOLE STRUCTURE 843 NOT-TO-SCALE

NOTES:
- MANHOLE CONFORMS TO ASTM C-478
- NO BRICK OR BLOCK WILL BE ALLOWED IN MANHOLE
- O-RING GASKET NON-ASPHALTIC MASTIC OR BUTYL RUBBER SEAL BETWEEN MANHOLE JOINTS



SUBSURFACE DRAIN (SSD) RISER DETAIL NOT-TO-SCALE

RECORD DRAWING

Dennis D. Olmstead Registered Land Surveyor No. 900012

DATE 2/13/12



SCALE: 1"=50' HOR. 1"=5' VERT.

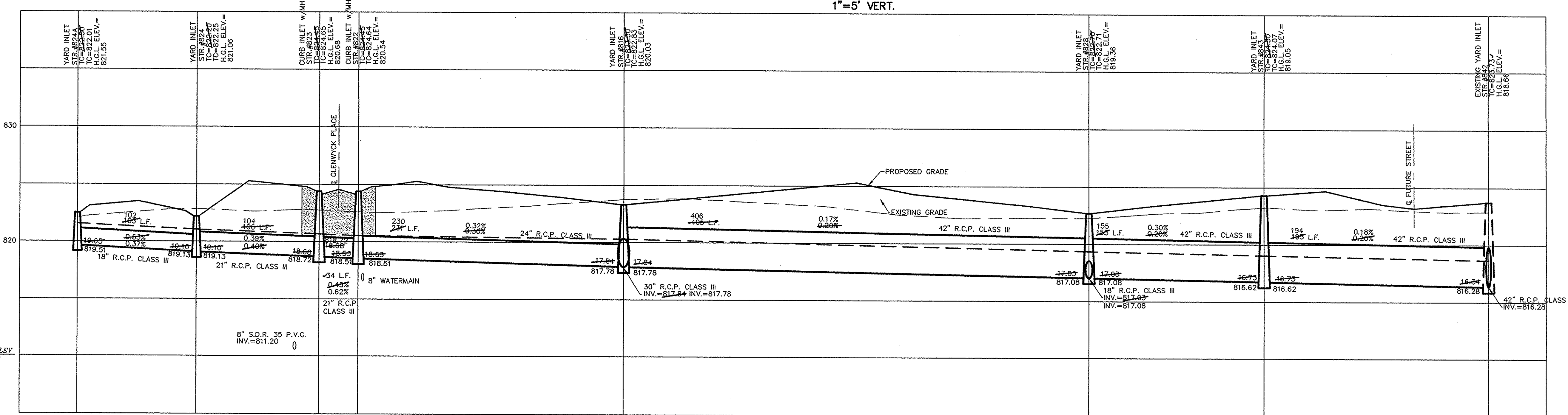
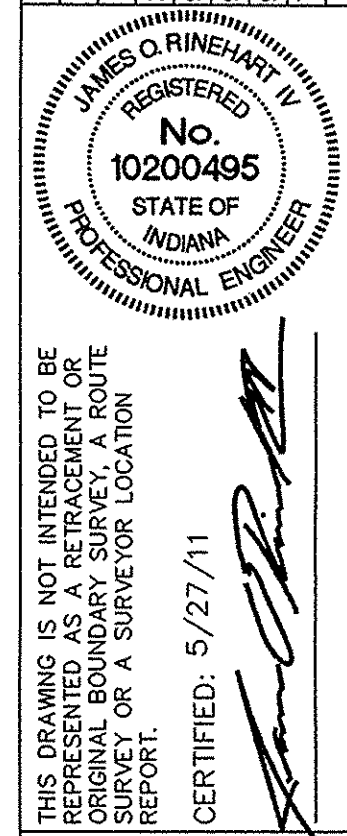


Table with columns: R/S, TWF, BAH, DATE, MARK, REVISIONS, BY.

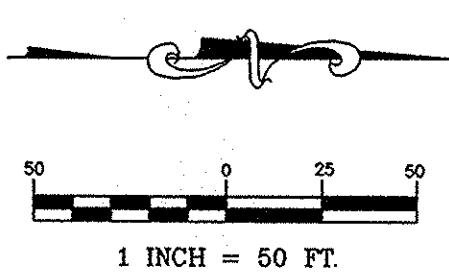
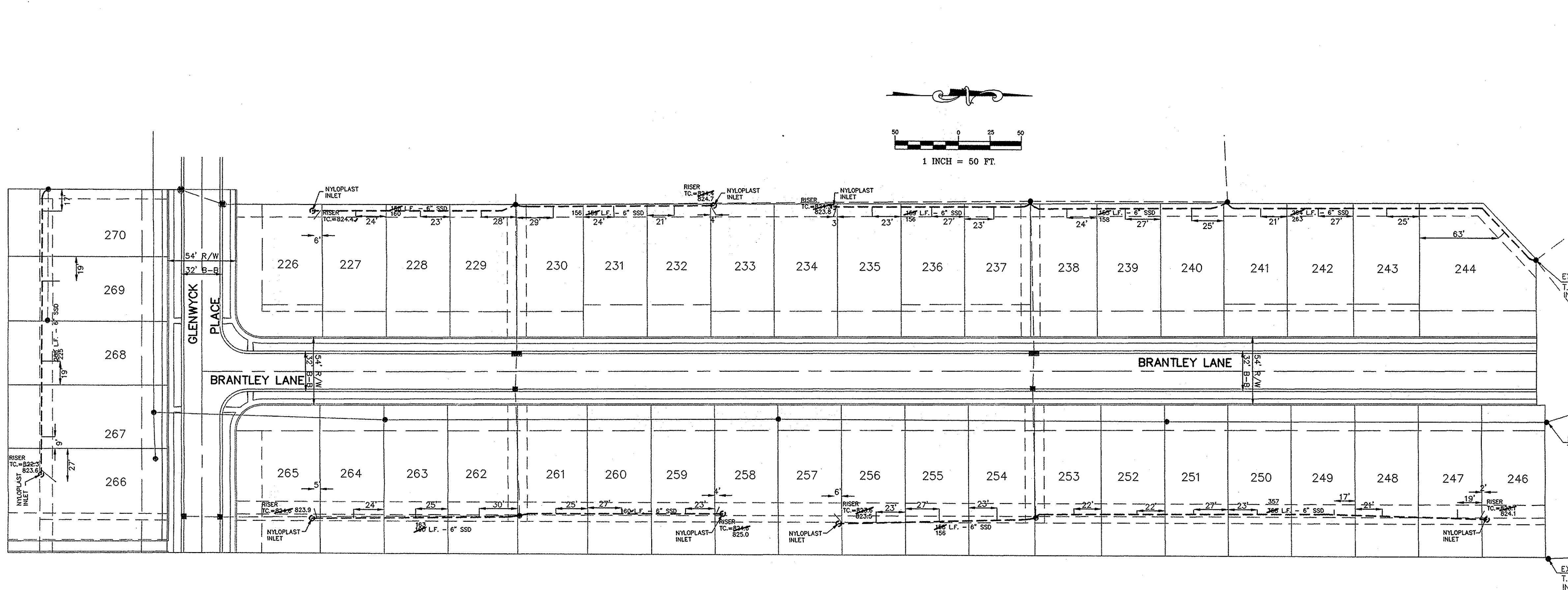


STOEPPELWERTH & ASSOCIATES, INC. CONSULTING ENGINEERS & LAND SURVEYORS



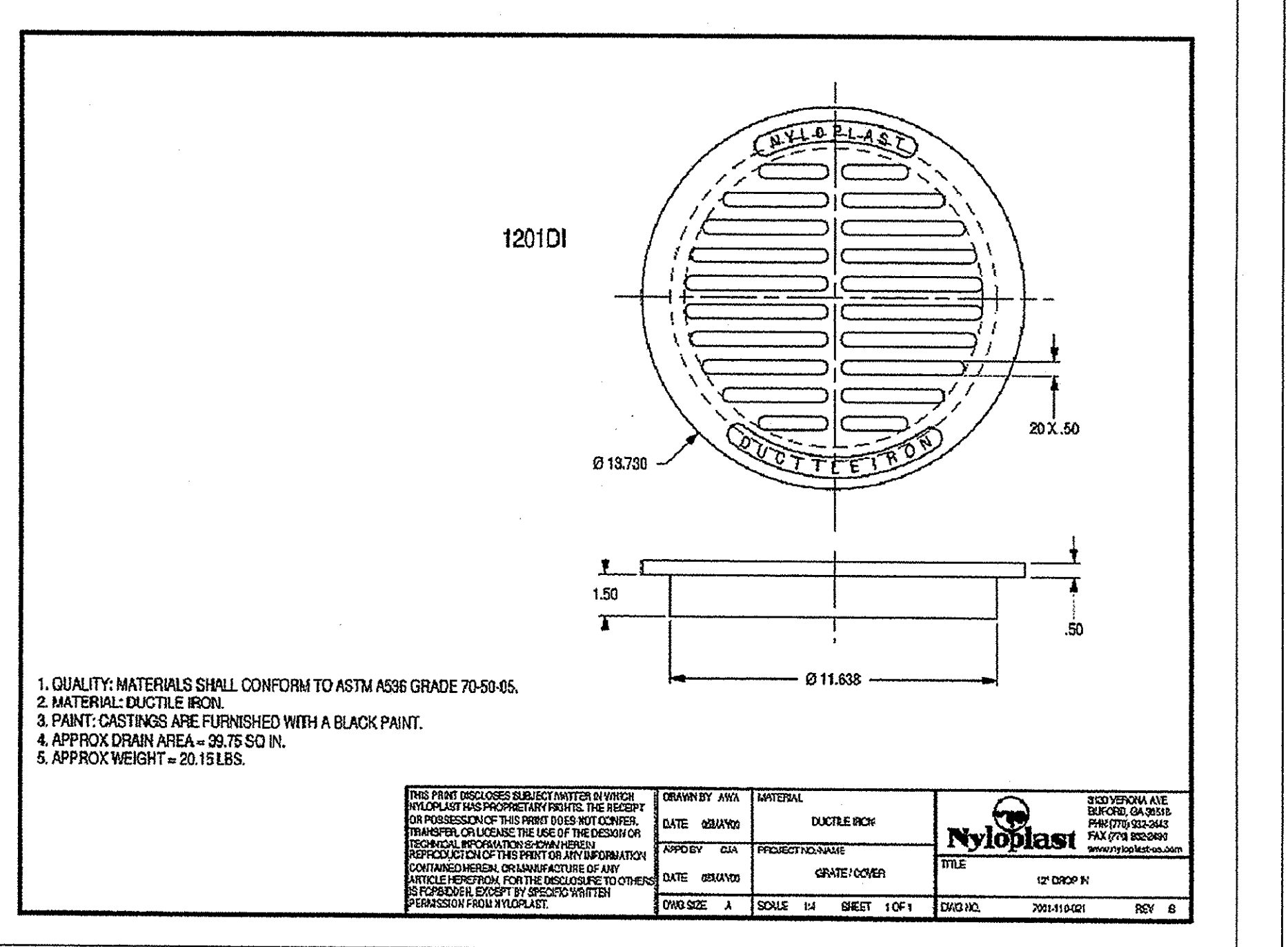
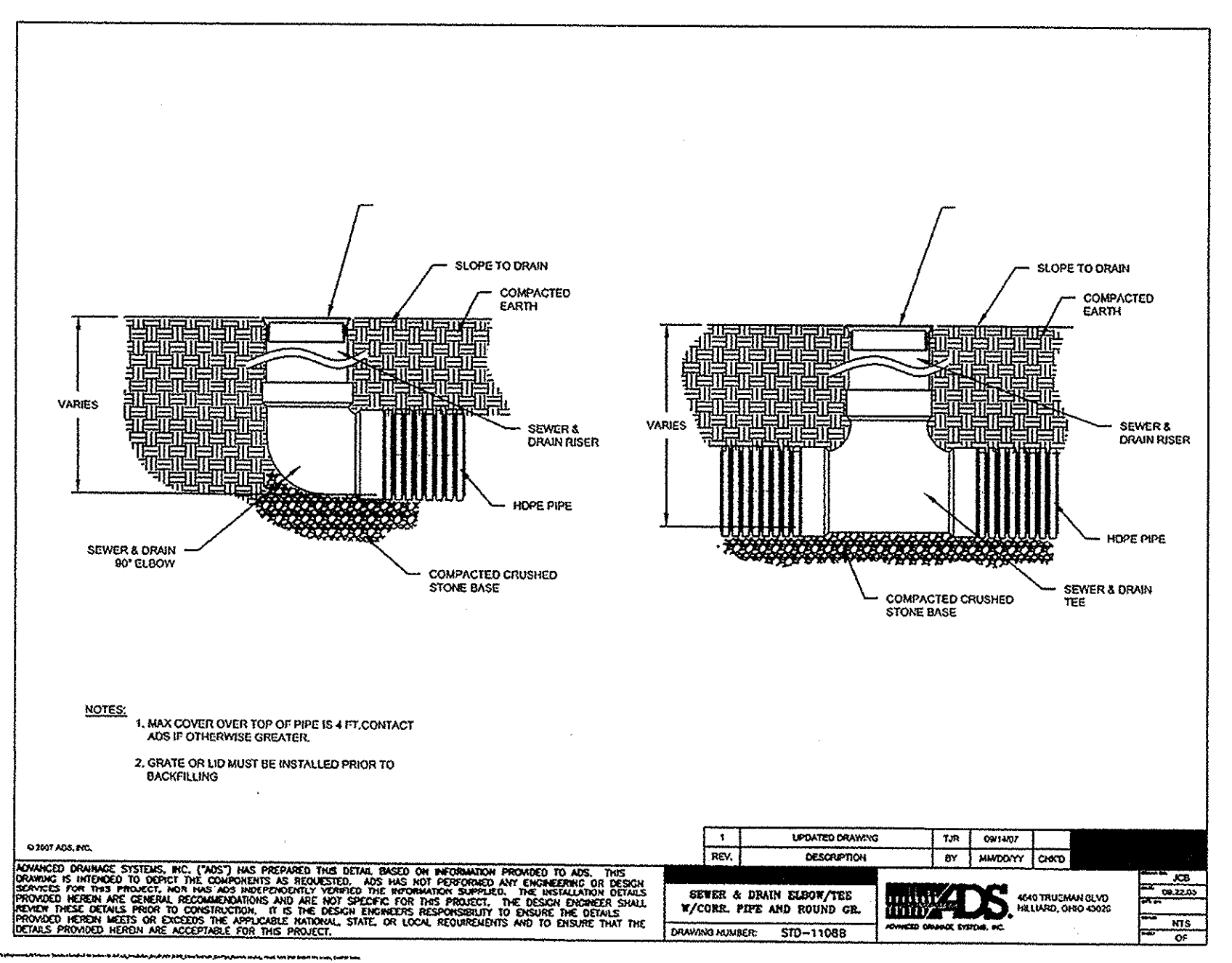
INDIANA NOBLESVILLE BRIGHTON KNOLL SECTION 4 STORM PLAN & PROFILE SHEET NO. C600

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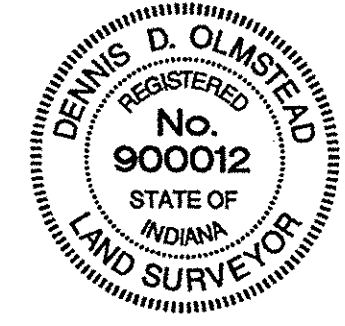
- LEGEND**
- EXISTING CONTOUR
 - EXISTING SANITARY SEWER
 - EXISTING STORM SEWER
 - PROPOSED CONTOUR
 - PROPOSED SANITARY SEWER
 - PROPOSED STORM SEWER
 - PROPOSED SWALE
 - PROPOSED 5' SIDEWALK (BY HOME BUILDER)
 - RISER

- NOTE:**
1. SEE NOBLESVILLE STANDARD DETAILS (SHEET 5) FOR SWALE SPECIFICATIONS.
 2. SEE NOBLESVILLE STANDARD DETAILS (SHEET 10) FOR LATERAL TO THE REAR YARD SWALE SPECIFICATIONS.
 3. ALL 6" SSD TO BE DOUBLE WALL.



RECORD DRAWING

D. D. OLMSTEAD
 DENNIS D. OLNSTEAD
 Registered Land Surveyor
 No. 900012



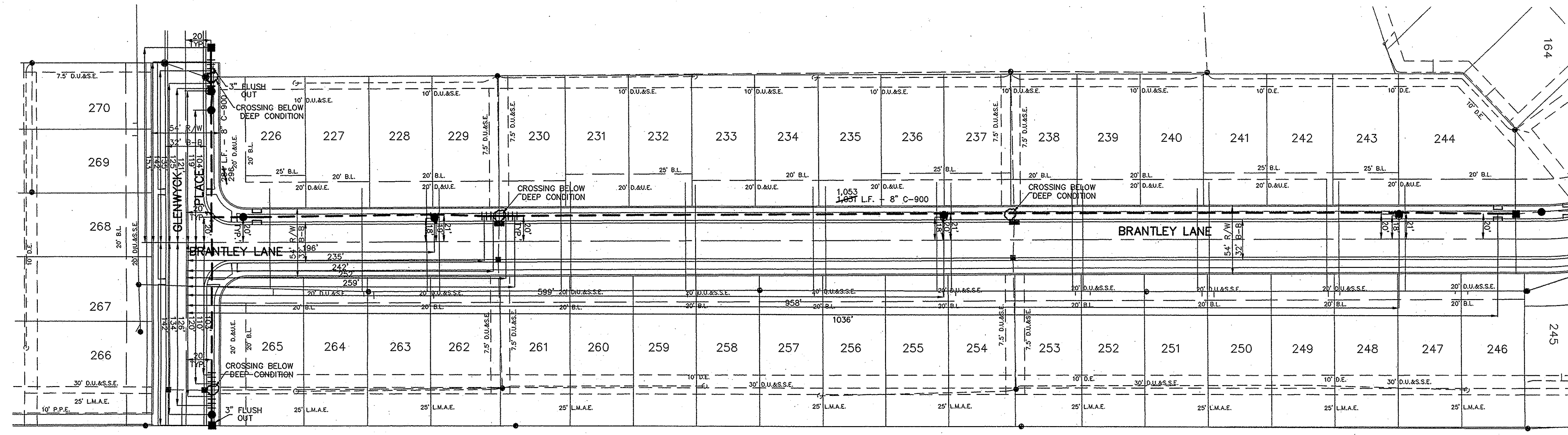
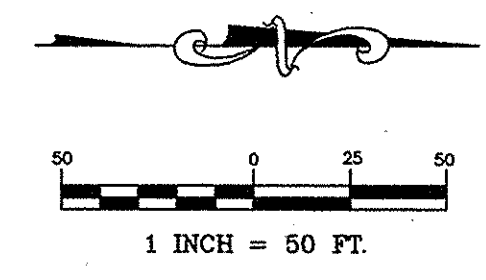
SUB SURFACE DRAIN PLAN
 BRIGHTON KNOLL
 SECTION 4

NO.	DATE	BY	REVISIONS
1	2/15/12	RJS	AS-BUILTS
2	2/15/12	BAH	LABEL NYLOPLAST INLETS
3	2/15/12	BAH	SHIFT SAN/ADD SAN MH 151A/MOVE X-WALKS
4	7/7/11	TWF	REVISE PER COMMENTS, ADD NOTES

STOEPPELWERTH & ASSOCIATES, INC.
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 Toll Free: (800) 728-6917

INDIANA
 NOBLESVILLE

DRAWN BY: TWF
 CHECKED BY: JOR
 SHEET NO. C602
 S & A JOB NO. 43400TRT-S4



RECORD DRAWING

This is to certify the Record Drawing of the water system for The Meadows of Shelbourne at Deer Path, Section 6A was prepared according to the actual locations of the valves, hydrants and other surface evidence collected by Stoepelwerth & Associates along with field notes from the contractor and is in general conformance with the approved plan dated 6/30/2011

Dennis D. Olmstead
 DENNIS D. OLMSTEAD
 Registered Land Surveyor
 No. 900012
 DATE 4/1/2012



The ASBUILT DRAWINGS for The Meadows of Shelbourne at Deer Path, Section 6A are, to the best of my knowledge and belief, a true and correct representation of the system installation, easements and rights of way. The location of mains, hydrants, valves and services are in accordance with the approved plans dated 6/30/2011 and certified by James O. Rinehart IV - Stoepelwerth & Associates, Inc. and the Indiana American technical specifications for Developer Installed Mains.

David J. Stoepelwerth
 David J. Stoepelwerth
 Professional Engineer
 No. 19358
 DATE 4/1/2012

NOTES:

ALL WATER VALVES AND METER PITS ARE NOT TO BE LOCATED WITHIN THE SIDEWALKS OR STREET PAVEMENTS. MAINS MAY NOT BE UNDER SIDEWALKS, WALKWAYS, LANDSCAPING, OR MOUNDING.

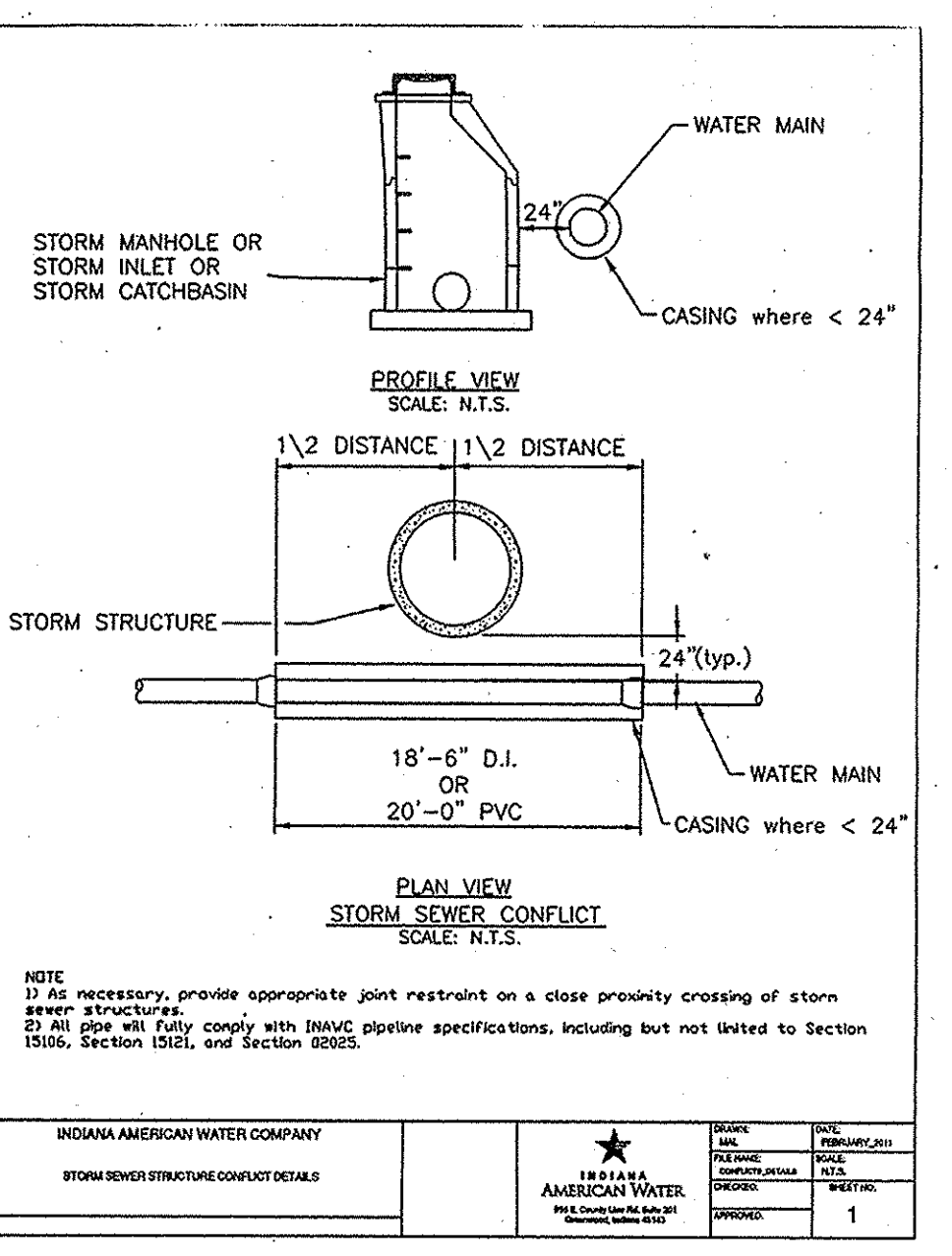
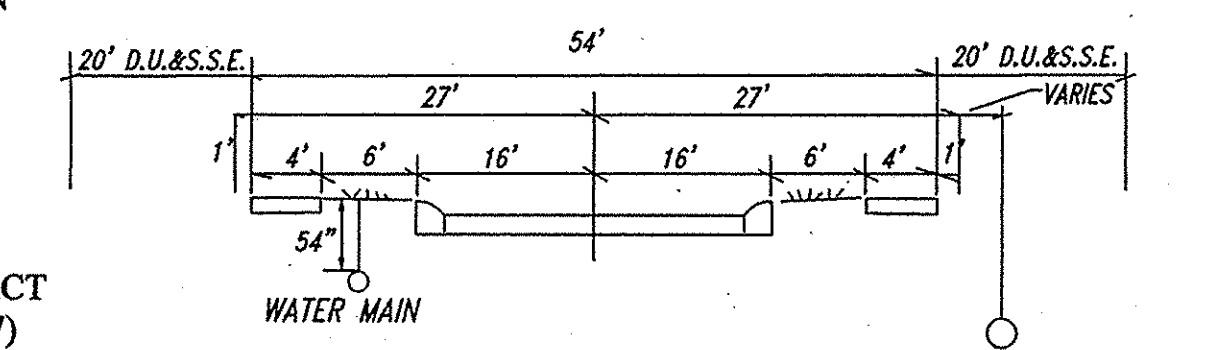
FOR FIRE HYDRANT REQUIREMENTS SEE THE FIRE HYDRANT SPECIFICATION PROVIDED BY THE NOBLESVILLE FIRE DEPARTMENT.

CONTRACTOR TO VERIFY THAT ALL MAINS, VALVES AND HYDRANTS ARE INSTALLED OUTSIDE OF FUTURE SIDEWALKS, WALKWAYS, LANDSCAPING, MOUNDING AND CURBS.

ALL FIRE HYDRANTS SHALL BE LOCATED BETWEEN THE CURB AND SIDEWALK IN THE RIGHT-OF-WAY. THE 5" STORZ CONNECTION SHALL FACE THE STREET.

CONTRACTOR SHALL MAINTAIN 10" HORIZONTAL SEPARATION AND 18" VERTICAL SEPARATION BETWEEN SANITARY SEWER AND WATER MAIN.

PRIOR TO THE WATERMAIN INSTALLATION CONTACT THE CITY OF NOBLESVILLE FIRE DEPARTMENT (317) 776-6336 TO SCHEDULE A PRECONSTRUCTION MEETING.



INDIANA AMERICAN WATER COMPANY	DATE	REVISION
STORM SEWER RESTRAINT CONNECTION DETAILS		1

Indiana American Water - Developer Installed Water Mains

RESTRAINED JOINTS

APPENDIX TO SPECIFICATIONS OR INCLUDE AS NOTES ON APPLICABLE PLAN SHEETS

SECTION 15106 - DUCTILE IRON PIPE AND FITTINGS

2.01 PIPE MATERIAL, D. Joints

2.02 FITTINGS, B. Joints

Add the following paragraphs or replace the existing as applicable:

3. Restrainted Joints

When restrained joints are required, for pipe and fittings, they shall be push-on type with no more than one (1) bolt that maintains joint flexibility without points loading the entire surface. When the restrained joint system requires a welded bedding on the pipe and/or shall be furnished with additional bedding, bedding welded, no field welding is allowed. "Ball-and-socket" joints are also acceptable when the conditions of installation require joints with the maximum flexibility and restraint. Other mechanical restraint devices, as described in Specification Section 15111, are also acceptable when the number of restrained joints required is minimal and if approved by the Engineer.

Acceptable Manufacturers:

- U.S. Pipe & Foundry - TR-FLEX or Bellows Restrainted Types or Field Laid gasket
- Clow (McWane) - Synchrod
- American Ductile Iron Pipe Company - Flex-Ring or Fast-Grip gasket
- Clifton Pipe Products Company - Flex-Ring or Restrainted Joint
- One Bolt, One - One Bolt Fitting

SECTION 15111 - POLYVINYL CHLORIDE (PVC) PIPE

2.01 PIPE MATERIALS

Add the following paragraph:

When restrained joints are required for pipe-to-pipe connections they shall be CERTA-LOK joints by Certalok or other mechanical restraint devices described in Specification Section 15111.

SECTION 15131 - PIPING SPECIALTIES

Add the following sub-paragraph:

2.03 RESTRAINT DEVICES

A. After-market add-on joint restraints - Mechanical joints and pipe bell restraint devices shall utilize non-point loading retaining devices which maintain joint flexibility. The minimum pressure rating shall be 150 psi for such devices.

Indiana American Water - Developer Installed Water Mains

Acceptable manufacturers are ERAA Inco, Meehanite Steel Company, Product lines acceptable to corresponding applications are as follows:

Pipe Material	ERAA Inco Meehanite Steel Joint Type	Field Meter Box Co. Joint Type
M/I Pipe Bell	M/I Pipe Bell	M/I Pipe Bell
PVC (CI OD)	1100 1600	1100 1300
DP	1100 1300	1400 1700

Alternatively, for short connections between valves, fittings and/or fire hydrants, mechanical joint sandor couplings can be used in lieu of the above devices.

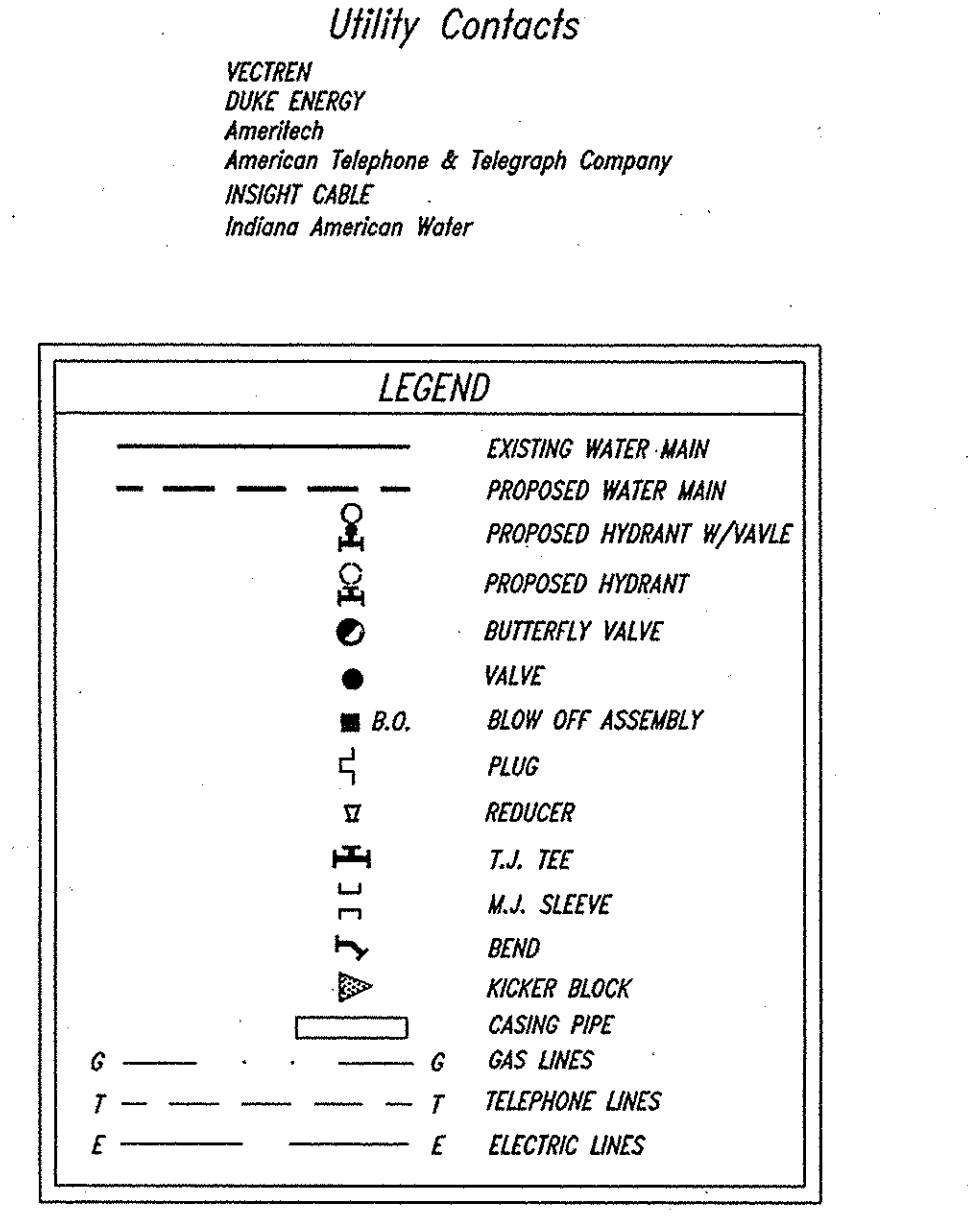
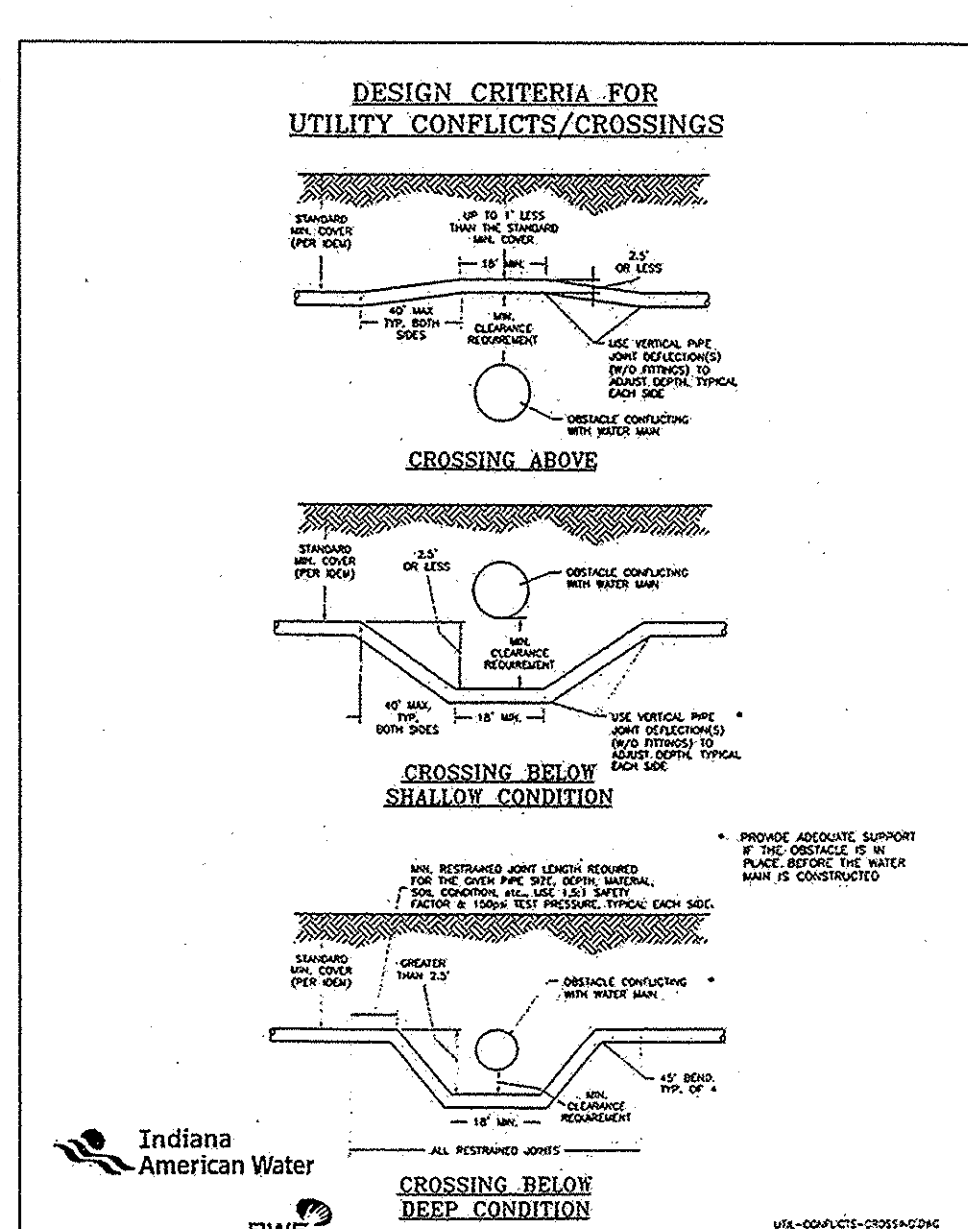
Acceptable manufacturers and products are the "Foster Adapter" by BIFACT, Corp. and pre-manufactured pipe spools with solid end-to-end gaskets by Tyler Pipe/Utilities Division/Union Foundry Co. or equal.

City of Noblesville Fire Hydrant Specifications

- A water distribution plan, with the fire hydrants identified, shall be submitted and approved by the Fire Marshal of the City of Noblesville Fire Department prior to construction of a structure.
- All on-site fire hydrants shall be located between the curb and sidewalk in the right-of-way. The 5" storz connection shall face the street.
- The number, size, and arrangement of outlets, the size of the main valve opening and the size of the barrel shall be suitable for the required fire protection.
- The type and installation of fire hydrants shall be approved by the respective Water Utility. Fire Hydrants shall meet the following criteria:
 - Mechanical joint connection for 6" service pipe
 - A minimum of a 5 1/4" diameter main valve opening
 - Two (2) 2 1/2" male outlets with threads being National Standard
 - A steamer outlet with a 5" Storz Connection and a 5" storz cap & chain
 - A main valve seat provided with bronze to bronze threads
 - A "break-away" hydrant that allows the barrel to break with a minimal amount of water escaping
 - Four (4) drain holes in the bottom to prevent freezing
 - All public hydrants shall be painted with two (2) coats of paint in the color "Traffic Yellow", "Caution Yellow", or "Safety Yellow" (Do not paint the Storz Connection)
 - All private hydrants shall be painted with two (2) coats of paint in the color "Safety Red" or equivalent (Do not paint the Storz Connection)
 - The hydrant shall be operated by a national standard pentagon operating nut (1 1/2 inch)

NOBLESVILLE FIRE DEPARTMENT REQUIREMENTS FOR RESIDENTIAL DEVELOPMENTS

- In subdivisions, fire hydrants shall be spaced a maximum of 500 feet apart. No structure shall be more than 250 feet from a fire hydrant. Submit plans to the Noblesville Fire Department for review.
- Fire hydrants shall meet the City of Noblesville Specifications. (See attached) On-site fire hydrants shall be located between the curb and sidewalk in the right-of-way. The storz connection shall face the street.
- Fire hydrants shall be installed, functional, and approved by this office, prior to the issuance of any building permits.
- The fire department shall not be deterred or hindered from gaining immediate access to fire hydrants. (IPC 508.5.4)
- A 3-foot clear space shall be maintained around the circumference of fire hydrants. (IPC 508.5.5)
- Fire apparatus access roads shall be installed and made serviceable prior to the issuance of any building permits.
- Developments of one or two family dwellings where the number of dwelling units exceed 100 shall be provided with separate and approved fire apparatus access roads.
- Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The apparatus access road shall have an unobstructed width of 20 feet at all times. (IPC 503.4)
- Between phases, all non-completed fire department access roads in excess of 150 feet shall be constructed with a temporary means to temporarily fire apparatus.



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REGISTERED PROFESSIONAL ENGINEER
 No. 10200495
 STATE OF INDIANA
 CERTIFIED: 5/27/11

INDIANA
 WATER PLAN
 BRIGHTON KNOLL
 SECTION 4
 NOBLESVILLE

REVISIONS

DATE	MARK	REVISIONS
7/17/11		REVISE HYDRANT LOCATION & DETAILS
7/21/11		ADD VALVE & DETAIL
9/12/11		SHIFT SAN/ADD SAN MR 151A/MOVE X-WALKS
12/15/12		AS-BUILTS

THIS DRAWING IS NOT INTENDED TO BE REPRESENTED AS A SURVEY OR THE REPORT OF A SURVEYOR LOCATION.

INDIANA
 WATER PLAN
 BRIGHTON KNOLL
 SECTION 4
 NOBLESVILLE

DRAWN BY: TWF CHECKED BY: JOR
 SHEET NO. C700
 3 & A JOB NO. 43400TRT-54